

64 Westbourne Terrace
Brookline,
Massachusetts



Construction
Management Plan
Gilbane Building
Company

January 28, 2021

1. Introduction

1.1 Project Description: The Project includes the construction of a Four story steel frame building with 1 level below grade to house mechanical space and an athletic suite. The building consists of a concrete foundation, four levels of steel and concrete construction with a masonry and storefront/metal panel facade. Construction is scheduled to begin in March 2021 and will be completed in May 2024. The Gilbane contact for this project is Robert Braga - Superintendent, contact information is as follows;

Office: NA
Cell: (617) 212-3482
Email: rbraga@gilbaneco.com

1.2 General Information: The development of this site will require earth retention on all four sides of the site. The earth retention will be on the property and abandoned in place after work is complete per the zoning board requirements. The project may also require the underpinning of two adjacent buildings. See attached SOE.

2. Construction Methodology

2.1 Construction Activity Schedule: The Town of Brookline typically allows construction work from 7:00 A.M. to 7:00 P.M., Monday through Friday. Weekend work hours are 8:30am to 5:00 pm. This project site is located in a predominantly residential neighborhood, these times will be strictly enforced.

2.2 Demolition: The demolition scope will include the complete removal of the existing building structure. The demolition debris will be disposed of at a properly licensed solid waste disposal facility. All trucks carrying demolition debris will be covered when leaving the site. During demolition, provisions will be made for the use of water spray to control the generation of dust, as well as street sweeping.

2.3 Construction Staging Areas: The proposed staging plans will be designed to isolate construction activities while maintaining safe access for pedestrians and vehicles during normal day-to-day activities and emergencies. The initial site mobilization will include installation of a 6-foot-high chain-link fence w/ a debris scrim to isolate the construction area. The primary construction gates will be located along Washington Street. Our logistics plan proposes (2) - 30' sliding gates on Washington St to enter and exit the site. Water-filled Jersey barrier will be installed 5' from site fence to create temporary 5' wide pedestrian walkway, this will be closed while construction activities are being performed, sidewalk will open at close of construction work-day, approximately 4:30PM. During the construction of this project on an as needed basis a Brookline Police Detail may be required at Washington St. and/or Westbourne Terrace. (Refer to "Insert C" on Page 7) There will also be a 30' sliding gate at Westbourne Terrace. All staging will occur within the area bordered by the project fence. The site fence will provide safe access for bicycle and automobile traffic adjacent to the Project. During working hours pedestrian routing plan (shown drawing sheet 7) on Washington St is reflected by use of the crosswalk at Salisbury Rd to the opposite side of Washington St, then crossing back over at Beacon St. – This

is only during construction working hours. This sidewalk closure will be for the duration of the project during project working hours from 6:30AM to 4:30PM Monday through Friday (approx. 24 months), and some Saturday's if construction is planned. At 4:30PM the designated 5' wide pedestrian walkway will be opened in-front of the Construction site on Washington street. The bike lane will default to shared travel lane on Washington Street. Temporary asphalt ramps will provide a transition from the street to pedestrian walkway at either end. The sidewalk on Westbourne St will include a partial covered walkway where the new building is closest to the sidewalk. Temporary Sidewalk closures will be requested if necessary. All construction activity will be kept within the designated areas approved by the CMP.

2.4 Signage: There will be directional signage required as our operations will impact adjacent walkways and vehicular traffic. Sidewalks and Streets will be impacted as outlined in the attached logistics plan. Permitting for the sidewalk work will be in place prior to the erection of the site fence.

Flashing Beacons to be installed at Crosswalk on Westbourne Terrace. Flashing Beacons to be installed at Crosswalk located at Salisbury Road and Washington St. "Sidewalk Closed" MUTCD R9-9 signage to be installed as per attached drawing sheets 4 & 6. Pedestrian signage including flashing crosswalk beacons, speed limit, school zone, etc. will be installed prior to construction, as per Brookline approved standard.

2.5 Roadway Cleaning: Street sweeping and sidewalk sweeping will be performed daily to keep truck debris from being tracked over roadways. As Construction vehicles are exiting the site, they are required to use designated wheel wash stations.

2.6 Existing Tannery Brook Drain Line (20 x 30) Demolition: This line will remain active until Support of excavation and building foundation at "Building C" have been installed. DMH 2, 3, 4 & 5 and 36" Drain Line will be installed and connected prior to demolition of 20 x 30 Tanner Brook line. SE Corner of Existing school Gym assumes Bottom of footing 102'-6". No underpinning will be required at this location, Sheets will be installed prior to footing and drain line.

3. Perimeter Protection/Public Safety

3.1 Contractor Obligations: Gilbane will work to ensure the staging areas minimize impact to pedestrian and vehicular flow. Secure fencing and barricades will be used to isolate construction areas from pedestrian traffic around the site. Where appropriate, police details will be provided to facilitate traffic flow and pedestrian safety at the request of the Director of Engineering & Transportation or Police Department.. Construction procedures will be designed to meet all OSHA safety standards.

3.2 Temp Covered Walkway: A temporary 5' covered walkway will be installed adjacent to the New Building at Bartlett Crescent Street also referred to as Teacher Parking Lot. This temp covered walkway will be removed at completion of project. A Temporary covered walkway will be installed on Westbourne Terrace at the sidewalk closest to new building to allow for pedestrian travel during construction.

4. Material Handling

4.1 Construction Waste: Gilbane will take an active role with regard to the reprocessing and recycling of construction waste. The disposal contract will include specification requirements that will ensure that construction procedures allow for the necessary segregation, reprocessing, reuse, and recycling of materials. For those materials that cannot be recycled, solid waste will be transported in covered trucks to an approved solid waste facility, per the Department of Environmental Protection (DEP) Regulations for Solid Waste Facilities, 310 CMR 16.00. This requirement will be specified in the disposal contract as well as for the general construction debris generated by this project during ALL phases of construction.

5. Construction Traffic Impacts

5.1 Worker Parking: Because the construction workers will typically arrive prior to peak traffic periods, construction trips are not expected to adversely affect traffic conditions. All trades will be directed to park at long

term parking meters along Beacon Street.

Personnel will arrive at the job site either by public transportation or by personal vehicles. No personal vehicles will be allowed to park at the project construction site. Any parking requirements will be met offsite utilizing long term parking meters along Beacon Street, and other on-street parking options while complying with the Town parking regulations.

The Contractor will encourage the use of public transportation and restrict parking as part of each of its subcontracts. This is typical on projects within densely populated areas. Workers will be encouraged to carpool with co-workers or to utilize the numerous public transportation options available in this part of Brookline.

Construction workers are not allowed to park on residential side streets in the Town and are not eligible for temporary parking permits.

5.2 Truck Routes: Truck routes will include the use of Washington Street and Westbourne Terrace. Washington Street will have 2 gates (in and out) of the site. Westbourne Terrace will have 1 gate (entrance / exit). Truck routing will be encouraged to travel along major roads and highways to alleviate traffic on neighborhood streets. Refer to Drawing Sheet 18. Trucking turning into the site on Washington street are Right Turn only. Trucks exiting the site onto Washington St are Right Turn only. Trucks entering and exiting the site at Westbourne Terrace gate are Left Turn Only.

5.3 Off-Site Staging: At no time will Town streets be used for crane placement, staging of trucks, and/or off-loading of trucks without separate permit application and approval. Where construction activities do not allow for immediate access from Washington Street into the construction zone, trucks will be staged off-site at a location to be designated by the Construction Manager and the Town Engineering and Transportation Division. Gilbane will directly coordinate, via a dedicated queuing operation, the off-site staging areas to ensure that a controlled and limited number of construction vehicles have access to the construction site at any one period in time. Off-site construction staging areas for the Project shall be limited to those specifically agreed upon by the Contractor and the Brookline Engineering and Transportation Division.

5.4 Temporary curb cuts: There will be 3 temporary curb cuts installed for access into the site, 1 located at each gate. These curb cuts will be removed once permanent sidewalk is installed. The Westbourne entrance into the alley at retail shops will be widened to allow for safe access of larger vehicles. See attached drawing sheet 3 for reference.

5.5 There will be 2 Parking spots available in front of the NGRID Vault on Washington street to allow for short term parking. 15 Minute Parking Signs as per drawing sheet 7.

5.6 Any town parking meters are to be removed by Town Highway Division staff, this work to be coordinated by Construction Manager.

6 Construction Air Quality

6.1 Contractor Obligations: Construction activities may generate fugitive dust, which will result in a localized increase in airborne particular levels. Fugitive dust emissions from construction activities will depend on such factors as the properties of the emitting surfaces (e.g. moisture content and volume of spills), meteorological variables, and construction practices employed. To reduce the emission of fugitive dust and to minimize impacts on the environment, the General Contractor will adhere to a number of strictly enforced mitigation measures, including the following:

6.1 Wetting agents will be used regularly to control and suppress dust that has the potential to become airborne by wind.

6.2 All trucks for transportation of construction debris will be fully covered.

- 6.3 Storage of construction debris will be within the fenced-in site and in strict coordination with abutters and their corresponding operations.
- 6.4 Construction practices will be monitored to ensure that unnecessary transfers and mechanical disturbances of loose materials are minimized and that any emissions of dust are negligible.
- 6.5 Streets and sidewalks will be cleaned regularly to minimize dust accumulations. If any contaminated soil is encountered during excavation, it will be temporarily stockpiled and covered on-site while arrangements are made for proper removal and disposal.
- 6.6 Dust monitoring will be implemented by sampling the air against baseline. Sampling will be gathered during preconstruction.

7 Construction Noise

7.1 Contractor Obligations: Every reasonable effort will be made to minimize the noise impact of construction activities.

Mitigation measures will include:

- 7.1 Instituting a proactive program to ensure compliance with the Town of Brookline noise Limitation policy.
- 7.2 Maintain an “idle free” work zone of fossil fuel trucks and equipment by providing supplemental electrical hoisting and pumping equipment along with “just-in-time” delivery methods. On-site idling will be limited to 5 minutes.
- 7.3 Locating noisy equipment as far as possible from sensitive areas.
- 7.4 Identifying and maintaining truck routes that minimize traffic noise within the Project’s neighborhood.
- 7.5 Mandating that certain equipment have the proper sound attenuation devices.
- 7.6 Scheduling equipment operations to keep average levels low, to synchronize noisiest operations with times of highest ambient levels, and to maintain relatively uniform noise levels.
- 7.7 Noise monitoring will be implemented to measure noise levels against the baseline. Sampling will be gathered during preconstruction.

8 Other Construction Mitigation Measures

8.1 Rodent Control: A rodent extermination certificate will be filed with the building permit application to the Town. Rodent inspection monitoring and treatment will be carried out before, during, and at the completion of all construction work for the proposed Project, in compliance with the Town’s requirements. Rodent extermination prior to work start-up will consist of treatment of areas throughout the Project site. During the construction process, regular service visits will be made.

These specifications will include all the following requirements:

- 8.2 The CM will conduct a thorough inspection of the site and provide an assessment of the site as it relates to pest control. A written assessment will be submitted listing pests present on the site, the extent of infestation, and if any activities in the area contribute to the potential pest problems. The report will also contain suggestions for remediation.
- 8.3 Within an agreed amount of time after conducting the initial inspection and assessment, the General Contractor will present a Pest Management Plan for approval.
- 8.4 The plan is to include details concerning:
 - Training for appropriate parties about the plan.
 - Frequency of technician visits and the activities they will perform.
 - A description of the pest-monitoring program.The Project Team will review and renew the Pest Management Plan as conditions warrant.
- 8.5 The CM will provide Service Reports after each service visit, which should include a listing of the pesticides used and at what location, results of the monitoring, description of any conditions that may be contributing to the pest problems, and/or any other actions that may have been taken.
- 8.6 The CM will maintain construction and lay-down areas and their perimeters free of trash and garbage, and provide and enforce proper use of refuse containers to ensure rodents and other pests are not harbored or

attracted.

8.7 The CM will designate specific locations as lunch and coffee break areas to prevent random disposal of garbage and trash, and will keep those areas free of litter by providing the necessary number of heavy-duty refuse containers.

9 Site Maintenance/Snow Removal

9.1 Contractor Obligations: Public sidewalk areas adjacent to the property will be cleared and kept free of snow, dust, and other debris on an as needed basis. The Contractor will remove snow from within the site fence to an offsite location or stockpiled within the construction fence limits.

10. Miscellaneous Provisions

10.1 Sanitary Facilities: Workers will be provided with toilets to and hand wash stations to be serviced as required.

10.2 Modifications to the CMP: Any modifications to this plan will be coordinated with the Town Engineering and Transportation Division.

10.3 COVID 19 Protocols are to be followed as outlined per CDC (including the United States Centers for Disease Control and Prevention (“CDC”) and the World Health Organization (“WHO”)) Brookline and Massachusetts Health Department and GBCO Safety Plan. Trades should self-certify and take temperature prior to arriving at work, Maintain safe social distancing (6’-0” or more) while working, no congregating during lunch breaks, must wear appropriate face coverings at all times, frequent hand washing, stay home if ill or Temperature is above 100.4, daily check-in and certification upon entry into project. Enforcement Under the authority of the Town By-Law Article 10.3 Non- Criminal Disposition, the Town may fine the Contractor \$50.00 for each occurrence of any employee or subcontractor not adhering to these regulations.

10.4 During Voter Polling at the existing Michael Driscoll School- Two (2) temporary Handicapped Parking will be made available on Bartlett Crescent. See Drawing 7 clouded location. Temporary parking permits to be requested as needed.

MEMORANDUM

TO: Lynda Callahan
Gilbane Building Company
Boston, MA 02210

FROM: Stephen M. Boudreau, P.E. *SMB*
Vanasse & Associates, Inc.
35 New England Business Center Drive,
Suite 140
Andover, MA 01810

DATE: November 20, 2020

RE: 8757

SUBJECT: Michael Driscoll School - Construction Management Plan
Pedestrian Detour
Brookline, Massachusetts

This memorandum discusses the proposed pedestrian detour associated with the Construction Management Plan for the Michael Driscoll School in Brookline, Massachusetts. The pedestrian detour is intended to provide a safe path for pedestrians, especially students, to and from the school along Washington Street between Beacon Street and the school driveway. Please refer to Sheet 7 and 8 of the Construction Management Plan dated December 2020 for the pedestrian detour.

Construction site access is proposed on Washington Street via a 30-foot-wide entrance gate and a 30-foot-wide egress gate. With approximately 50 trucks entering and exiting the site per day on Washington Street, the pedestrian detour is designed to minimize conflict points between pedestrians and construction operations, and to maintain an accessible alternative route for the safety of the public and school students. During working hours (6:30 AM to 4:30 PM), the sidewalk will be closed on Washington Street along the school construction site. Pedestrians will use the crosswalk located at the intersection of Washington Street and the school driveway/Salisbury Road, travel along the sidewalk on the southeast side of Washington Street, and cross back across Washington Street at the intersection of Beacon Street. The school driveway crosswalk is unsignalized; however, a crossing guard will be stationed at this crossing during the hours of morning school drop-off and afternoon pick-up times. The crosswalk at Beacon Street is signalized with Accessible Pedestrian Signal (APS) equipment including push buttons and walk/don't walk indications to facilitate safe pedestrian crossing at this intersection. During non-working hours (4:30 PM to 6:30 AM), weekends, and holidays, pedestrian access will be maintained on the north side of Washington Street via the existing sidewalk or a temporary Americans with Disabilities Act (ADA) compliant pedestrian route. A police detail will be stationed at the Washington Street construction access gates, as required by the town.

The pedestrian detour minimizes the redirection of pedestrian travel utilizing existing, ADA compliant pedestrian facilities while maintaining full access in close proximity to businesses in the area. The existing pedestrian facilities can adequately support the change in pedestrian traffic patterns (for peak hour pedestrian volumes, see Figure 4 in the Transportation Impact Assessment prepared by Vanasse & Associates, Inc., dated December of 2018). It is our recommendation that closing the sidewalk adjacent to the construction site on Washington Street during working hours is the safest alternative, will minimize conflicts between pedestrians and construction operations and will maintain an accessible alternative route for the safety of the public and school students.

If you have any questions or require additional information, please do not hesitate to call me at 978-474-8800.



CONSTRUCTION MANAGEMENT PLAN

PLAN OF
MICHAEL DRISCOLL SCHOOL

IN THE TOWN OF
BROOKLINE
NORFOLK COUNTY

THE COMMONWEALTH OF MASSACHUSETTS

PROJECT TITLE

Michael Driscoll School
Construction Management
Plan

Brookline,
Massachusetts

PREPARED FOR

Gilbane Building
Company

Boston,
Massachusetts



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www.rdva.com

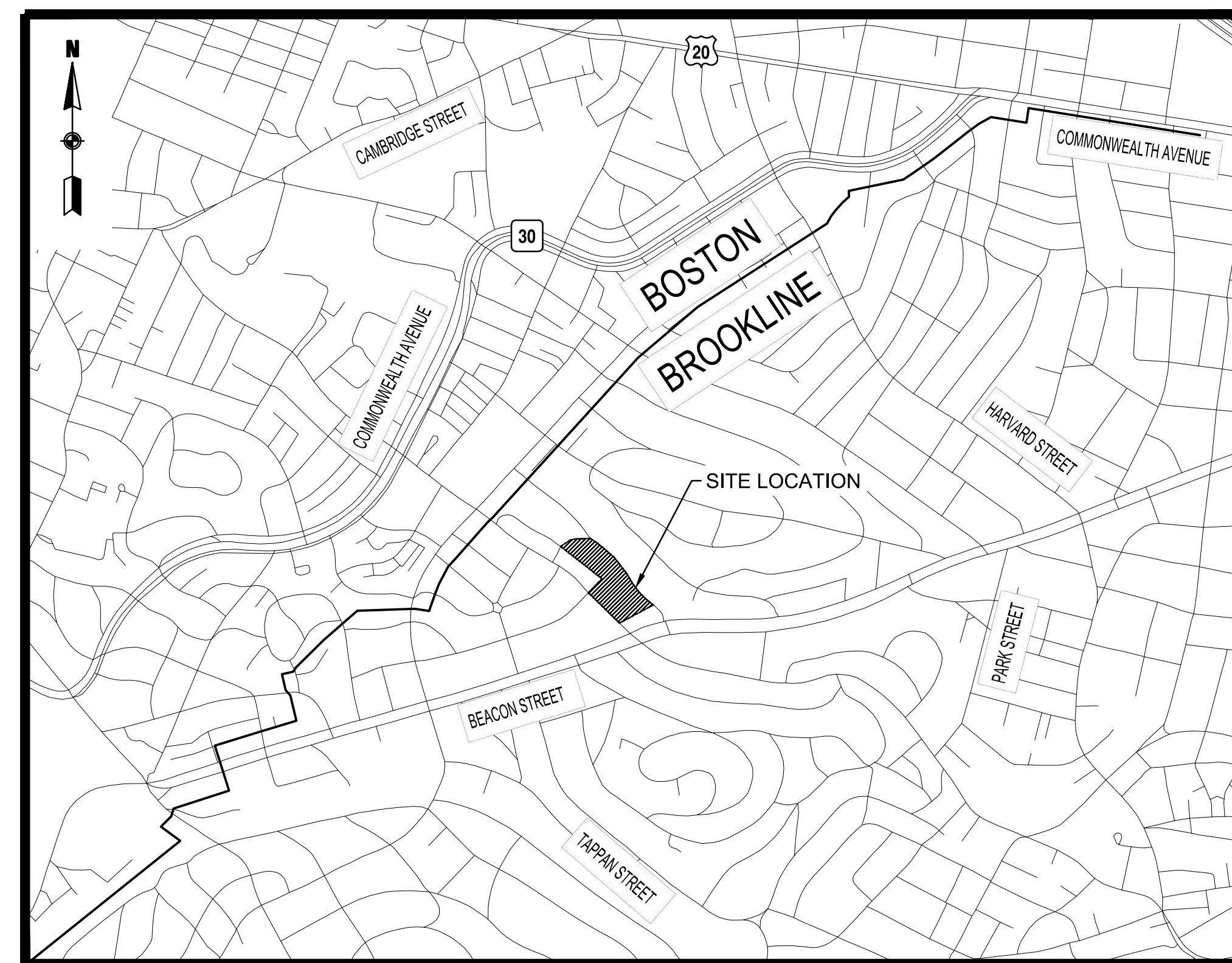
DESIGNED BY	MPP
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CHECKED BY	SMB
DATE	DECEMBER 2020
SCALE	AS NOTED
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REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

Title Sheet & Index

SHEET 1 OF 17	DRAWING NUMBER
JOB NO. 8757	
CAD 8757DS	



DECEMBER 2020

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	GENERAL NOTES, LEGEND & SCHEDULE
3	CONSTRUCTION DETAILS & SIGN SUMMARY
4	WHEELCHAIR RAMP & CONSTRUCTION DETAILS
5-6	PHASE 1 - SITE ENABLING
7-8	PHASE 2 - BUILDING CONSTRUCTION
9-10	PHASE 3 - DEMOLITION, FIELD CONSTRUCTION & LANDSCAPING
11-16	TRUCK TURNING MANEUVERS
17	TRUCK ROUTING PLAN

GENERAL NOTES

- THESE PLANS ARE NOT INTENDED TO LIMIT THE CONTRACTORS RIGHT TO SCHEDULE THE WORK BUT TO OUTLINE ONE WAY OF PROGRESSING. THE CONTRACTOR IS EXPECTED TO USE KNOWLEDGE AND EXPERIENCE TO PERFORM THE WORK IN THE MOST SAFE AND EFFICIENT MANNER IN COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS AND MEETING THE REQUIREMENTS OF THE TOWN OF BROOKLINE.
- CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE TOWN, CONSTRUCTION MANAGEMENT PLANS FOR ANY WORK OUTSIDE OF THE WORK ZONES INDICATED IN THESE DRAWINGS.
- ALTERNATIVE PHASING OR MODIFICATIONS TO ANY ASPECT OF THE CONSTRUCTION MANAGEMENT PLANS AND THE CONSTRUCTION STAGING PLANS WILL BE SUBJECT TO REVIEW FOR ACCEPTANCE BY THE TOWN PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH THE SUBMISSION AND REVIEW OF ALTERNATIVE CONSTRUCTION MANAGEMENT PLANS AND CONSTRUCTION STAGING PLANS, INCLUDING PRESENTATION TO THE TOWN AND THE NEIGHBORHOOD IF NEEDED, VEHICULAR AND PEDESTRIAN TRAFFIC MODELING, LEVEL OF SERVICE (LOS) ANALYSES, AND OTHER ASSOCIATED EFFORTS. ALTERNATIVE CONSTRUCTION MANAGEMENT AND CONSTRUCTION STAGING PLANS SHALL NOT CAUSE AN INTERFERENCE WITH ADJACENT CONTRACTS OR DELAY THE SCHEDULE OR INCREASE THE COST OF THIS OR ANY ADJACENT CONTRACTS. LEVEL OF SERVICE ANALYSIS SHALL BE DEFINED BY THE "HIGHWAY CAPACITY MANUAL."
- THE CONSTRUCTION MANAGEMENT PLANS REQUIRE THAT SPECIFIC SIDEWALK WIDTHS BE MAINTAINED DURING THE VARIOUS STAGES OF CONSTRUCTION TO FACILITATE ACCEPTABLE PEDESTRIAN LEVEL OF SERVICE (LOS) MOVEMENTS ALONG TRAVEL WAYS TO AND FROM ABUTTING BUILDING AND BUSINESSES WITHIN THE PROJECT LIMITS. THE MINIMUM SIDEWALK WIDTHS SHOWN ON THE TRAFFIC MANAGEMENT PLANS ARE BASED ON ENGINEERING ANALYSIS AND ARE LOCATED ON THE PLANS AROUND TEMPORARY FIXED BARRICADED WORK ZONES AT SITE SPECIFIC POINTS OF CONSTRUCTION. THE SIDEWALK WIDTHS SHOWN ON THE CONSTRUCTION MANAGEMENT PLANS SHALL NOT BE DEVIATED FROM WITHOUT THE PERMISSION OF THE TOWN. WHEN SPECIFIC DIMENSIONS ARE NOT SHOWN, THE CONTRACTOR SHALL MAINTAIN A MINIMUM 4-FOOT PASSAGE.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY PEDESTRIAN ROUTE ACCESSIBLE TO DISABLED PERSONS AROUND BLOCKAGES TO AN EXISTING PEDESTRIAN ROUTE (E.G., SIDEWALKS, CROSSWALKS, PEDESTRIAN CURB RAMPS, ETC.). BLOCKAGES INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION WORK, EXCAVATIONS, EQUIPMENT AND VEHICLES, TEMPORARY WATER AND UTILITY LINES.
 - SIDEWALK AREAS SHALL REMAIN OPEN AND FREE FROM SAFETY CONTROL DEVICES AND CONSTRUCTION DEBRIS THROUGHOUT THE DURATION OF THE CONSTRUCTION. PEDESTRIAN DETOURING SHALL NOT OCCUR UNLESS APPROVED BY THE TOWN.
- CONTRACTOR SHALL SECURE WORK AREAS TO ENSURE PUBLIC SAFETY AND CONVENIENCE. THIS SHALL INCLUDE ENSURING THAT ALL EXCAVATIONS ARE PROTECTED AT ALL TIMES.
- ALL CONSTRUCTION SIGNING, DRUMS, BARRICADES AND OTHER DEVICES SHALL CONFORM WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS AMENDED.
- CHANNELIZATION WILL BE ACCOMPLISHED THROUGH THE USE OF REFLECTORIZED PLASTIC DRUMS OR APPROVED EQUAL IN ACCORDANCE WITH THE MUTCD.
- CONTRACTOR SHALL COORDINATE WITH THE TOWN TO ACCOMMODATE ACCESS NEEDS OF ABUTTING PROPERTIES NOT SPECIFIED IN THE PLANS.

- CONTRACTOR SHALL MAINTAIN EMERGENCY PASSAGE AT ALL TIMES TO BUILDINGS WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL MAINTAIN 24-HOUR EMERGENCY VEHICLE ACCESS TO AND THROUGH CONSTRUCTION AREAS.
- SAFETY SIGNS PROPOSED FOR LOCATIONS OTHER THAN ERECTED ON TEMPORARY BARRICADES MAY BE ERECTED ON EXISTING LIGHTPOLES, SIGNPOSTS, AND OTHER EXISTING FEATURES AS APPROVED BY THE TOWN.
- LOCATIONS OF SIGNS SHOWN ARE APPROXIMATE. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD. THE CONTRACTOR SHALL ENSURE THAT SIGNS ARE PLACED SO MAXIMUM VISIBILITY IS OBTAINED.
- EXISTING SIGNAGE WHICH CONFLICTS WITH PROPOSED SIGNING SHALL BE REMOVED AND STACKED OR COVERED AS DETERMINED BY THE TOWN. IF NECESSARY, AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE SIGNAGE TO ORIGINAL.
- THE BROOKLINE POLICE, FIRE, AND TRANSPORTATION DEPARTMENTS SHALL BE ADVISED OF THE SCHEDULE OF CONSTRUCTION AS WELL AS OF ANY DETOURS OR ALTERNATE ROUTES.
- THE CONTRACTOR SHALL NOT REMOVE PARKING METER HEADS AND SHALL COORDINATE WITH THE TOWN OF BROOKLINE FOR THEIR REMOVAL.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE TOWN FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES AT NO ADDITIONAL COST TO THE TOWN. IF THE CONTRACTOR ADJUSTS UTILITY COVERS IT SHALL BE DEEMED PART OF THE WORK AND THERE WILL BE NO ADDITIONAL COMPENSATION.
- ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, (SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS) PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING GRADING, PAVEMENT RESTORATION, OR REPAVING.
- THE ACCURACY AND COMPLETENESS OF UNDERGROUND UTILITIES ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE DIGGING BEGINS, THE CONTRACTOR IS REQUIRED TO CALL DIG SAFE AT (888)344-7233. ALL TOWN OWNED UTILITY STRUCTURES WITHIN AREAS AFFECTED BY THE WORK SHALL BE ADJUSTED TO NEW LINE AND GRADE AS DIRECTED BY THE ENGINEER. ANY UTILITY POLES AND/OR GUY POLES WITHIN AREAS AFFECTED BY THE WORK SHALL BE REMOVED AND RESET BY THE RESPECTIVE UTILITY COMPANY. ALTERATIONS TO UTILITIES NOT OWNED BY THE TOWN SHALL BE MADE BY THE RESPECTIVE UTILITY OWNERS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CONSTRUCTION MANAGEMENT EFFORTS OUTSIDE OF THE SITE PLANS AND TO COMPLY WITH CONDITIONS OUTLINED WITHIN THE PLANS AND SPECIFICATIONS USING APPROVED METHODS.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS, INCLUDING STAGING AREAS, SHALL BE RESTORED BY THE CONTRACTOR TO THEIR

- ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT ADDITIONAL WORK WITHIN THE PROJECT LIMITS MAY BE PERFORMED BY OTHERS.
 - THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL VERIFY PROPERTY LIMITS PRIOR TO CONSTRUCTION AND PLACE ANY TEMPORARY OR NEW EQUIPMENT WITHIN THE PROJECT LIMITS OR THE TOWN OF BROOKLINE'S RIGHT OF WAY.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT FOR REVIEW A DETAILED SCHEDULE OF OPERATIONS IN ADDITION TO OTHER CONTRACT REQUIREMENTS TO THE TOWN OF BROOKLINE AND PUBLIC WORKS DEPARTMENT.
 - ANY WORK ASSOCIATED WITH THIS CONSTRUCTION MANAGEMENT PLAN SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN STANDARD SPECIFICATIONS AND DRAWINGS.
 - NO EXISTING PUBLIC UTILITY STRUCTURES SHALL BE ABANDONED AND/OR DISMANTLED WITHOUT AUTHORIZATION FROM THE TOWN.
 - THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AT HIS OWN EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE STREET LIGHTING ADJACENT TO THE PROJECT, FOR THE DURATION OF THE PROJECT, AS APPROVED BY THE TOWN. CONTRACTOR SHALL ENSURE THAT STREET LIGHTING SERVICE WILL NOT BE INTERRUPTED AND THAT STREET LIGHTING WILL BE OPERATIONAL AT THE END OF EACH WORKDAY.
 - ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, OR APPROVED EQUAL, AND MEET STD SPECIFICATION, IF NECESSARY, AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE PAVEMENT MARKINGS TO ORIGINAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY TRAFFIC SIGNAL EQUIPMENT, LOOP DETECTORS, PAVEMENT MARKINGS, AND SIGNAGE DAMAGED OR TEMPORARILY REMOVED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL ERADICATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED PAVEMENT MARKINGS.
 - CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ANY WEIGHT RESTRICTIONS ON AREA BRIDGES AND TO INSURE THAT TRAFFIC DOES NOT EXCEED WEIGHT RESTRICTIONS IF BRIDGES ARE USED.
 - AT CROSSWALK LOCATIONS AND OTHER LOCATIONS WHERE PEDESTRIAN AND/OR VEHICLE SIGHT LINES MAY BE IMPACTED BY CONSTRUCTION FENCING, THE CONTRACTOR SHALL NOT INSTALL ANY SCREEN THAT MAY DIMINISH SIGHT LINES.
 - CONSTRUCTION WORKERS SHALL NOT PARK ON RESIDENTIAL STREETS IN THE TOWN AND ARE NOT ELIGIBLE FOR TEMPORARY PARKING PERMITS.
 - ALL FINAL PAVEMENT MARKINGS SHALL COMPLY WITH TOWN STANDARDS AND REFLECT THE VOTE BY THE TRANSPORTATION BOARD.
 - ANY TOWN SIGNS, POLES, STREET LIGHTS, TRAFFIC SIGNALS, ETC. ARE TO BE STACKED FOR HIGHWAY DIVISION STAFF REVIEW FOR SALVAGE. THE CONTRACTOR SHALL DISPOSE OF REMAINING MATERIAL.

STREET FURNITURE LEGEND

PROPOSED	EXISTING	DESCRIPTION
		SIGN POST
		STREET LIGHT
		HYDRANT
		MAILBOX
		FIRE ALARM BOX
		WHEELCHAIR RAMP

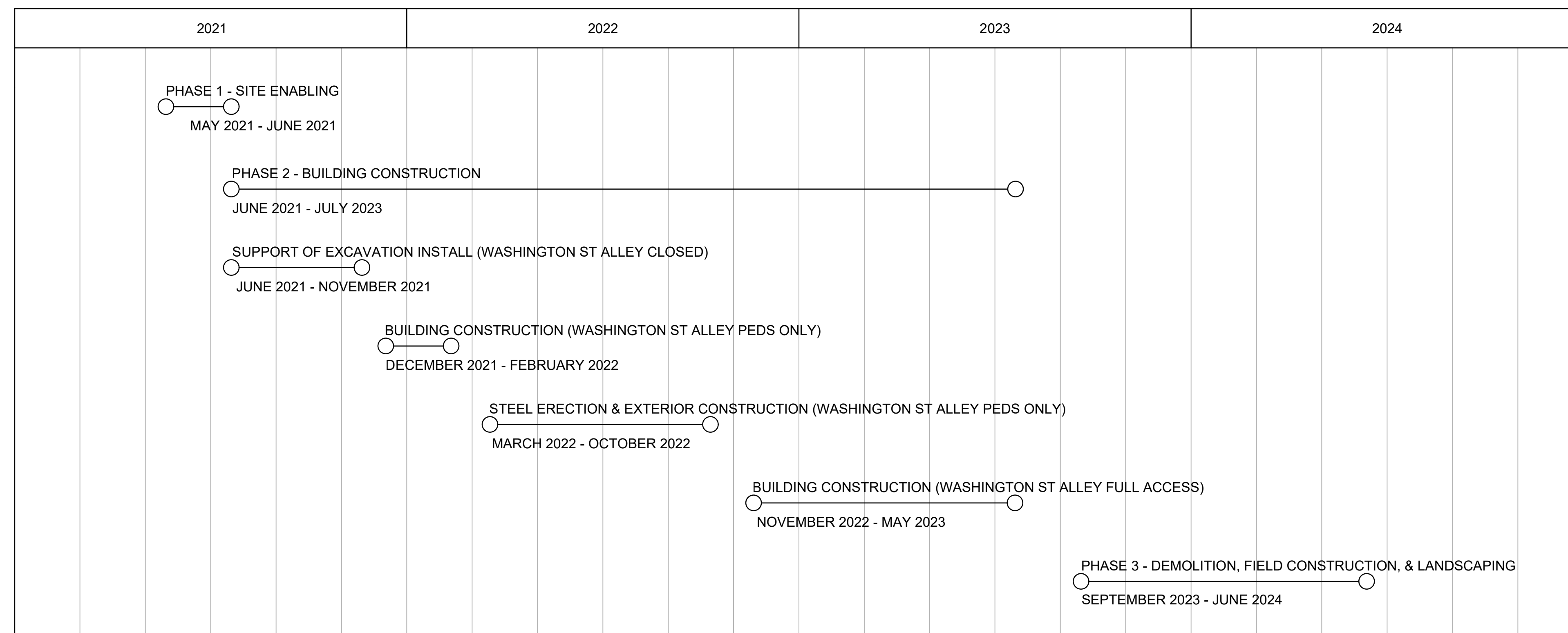
GENERAL LEGEND

	TEMPORARY CONCRETE BARRIER
	CONSTRUCTION FENCE
	PEDESTRIAN DETOUR ROUTE
	PEDESTRIAN FLOW
	ENTERING TRUCK TRAFFIC
	EXITING TRUCK TRAFFIC
	POLICE DETAIL
	CROSSING GUARD

ABBREVIATIONS

APPROX	APPROXIMATE
CEM	CEMENT
CONC	CONCRETE
EXIST	EXISTING
HMA	HOT MIX ASPHALT
MAX	MAXIMUM
MIN	MINIMUM
PROP	PROPOSED
R&R	REMOVE & RESET
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB
WCR	WHEELCHAIR RAMP

BAR SCHEDULE



PROJECT TITLE

Michael Driscoll School
Construction Management
Plan

Brookline,
Massachusetts

PREPARED FOR

Gilbane Building
Company

Boston,
Massachusetts



35 N.E. BUSINESS CENTER DRIVE
ANDOVER, MA 01810-1071
TEL: (978) 474-8800
www.rdma.com

DESIGNED BY	---
DRAWN BY	---
CHECKED BY	SMB
DATE	DECEMBER 2020
SCALE	AS NOTED
STAMP	

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

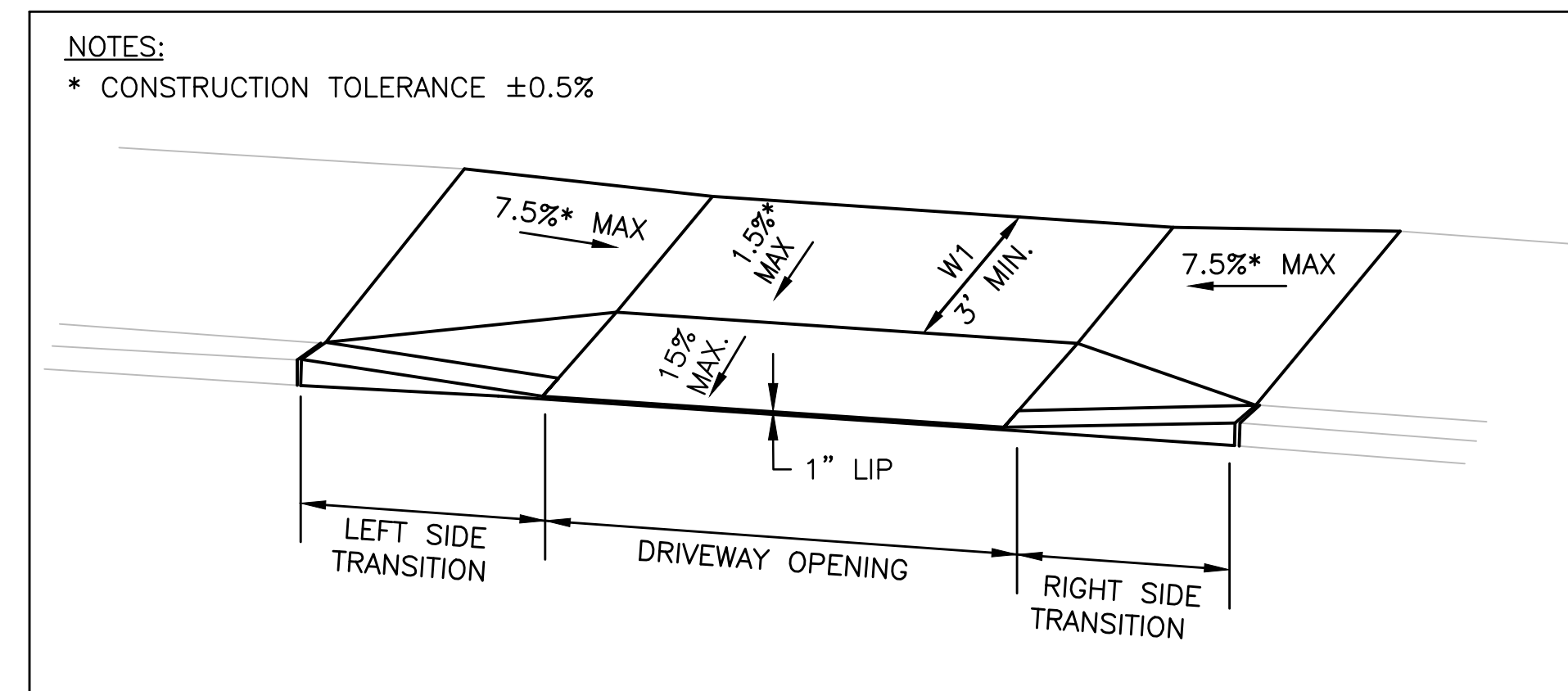
General Notes,
Legend & Schedule

SHEET 2 OF 17	DRAWING NUMBER
JOB NO. 8757	2
CAD: 8757DS	

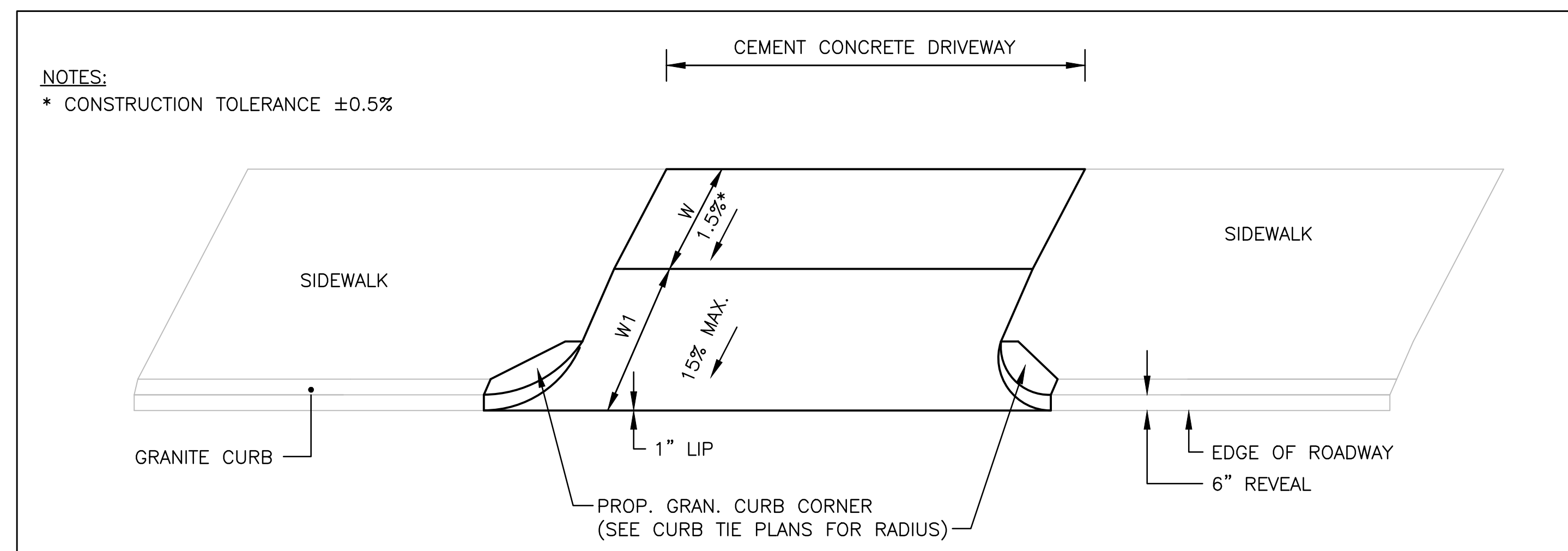
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IDENTIFICATION NUMBER	SIZE OF SIGN (INCHES)		UNIT AREA SF	TEXT	TEXT DIMENSIONS	COLOR			POST SIZE AND NUMBER REQUIRED PER SIGN
	WIDTH	HEIGHT				BACK-GROUND	LEGEND	BORDER	
M4-9bL	30"	24"	5.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	MOUNT ON BARRICADE
M4-9bR	30"	24"	5.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	MOUNT ON BARRICADE
OM-3L	12"	36"	3.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT YELLOW-GREEN	BLACK	BLACK	MOUNT BELOW S1-1
R7-2aL	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R7-2aR	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R7-4	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R7-4(L/R)	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R7-5(L/R)	12"	18"	1.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	RED	RED	P-5 1
R9-9	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11L	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11R	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11aL	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11aR	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11bR	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11c	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R11-4	60"	30"	12.50		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
S1-1	30"	30"	6.25		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT YELLOW-GREEN	BLACK	BLACK	P-5 1
S1-1	30"	30"	6.25		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1

IDENTIFICATION NUMBER	SIZE OF SIGN (INCHES)		UNIT AREA SF	TEXT	TEXT DIMENSIONS	COLOR			POST SIZE AND NUMBER REQUIRED PER SIGN
	WIDTH	HEIGHT				BACK-GROUND	LEGEND	BORDER	
W5-1	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
W16-7P	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	MOUNT BELOW W11-2
W16-7P	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT YELLOW-GREEN	BLACK	BLACK	MOUNT BELOW W11-2
W20-1	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
R5-1	-	-	-		EXIST SIGN TO BE R&R	-	-	-	MOUNT BELOW R6-1
R6-1	-	-	-		EXIST SIGN TO BE R&R	-	-	-	P-5 1



NOT TO SCALE



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PROJECT TITLE

Michael Driscoll School
Construction Management
Plan

Brookline,
Massachusetts

PREPARED FOR

Gilbane Building
Company

Boston,
Massachusetts

VA Vannase &
Associates inc
Transportation Engineers & Planners

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TEL: (978) 474-8800
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Construction Details
& Sign Summary

SHEET 3 OF 17	DRAWING NUMBER
JOB NO. 8757	3
CAD. 8757DS	

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DATE	DECEMBER 2020
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STAMP	

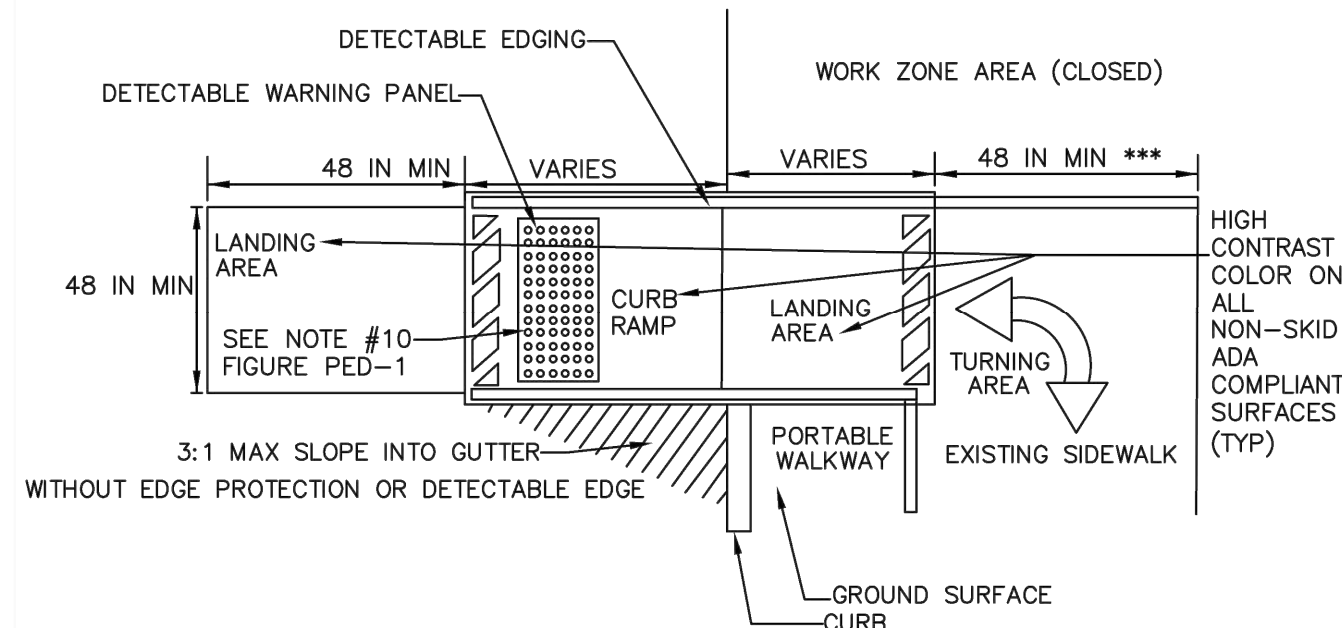
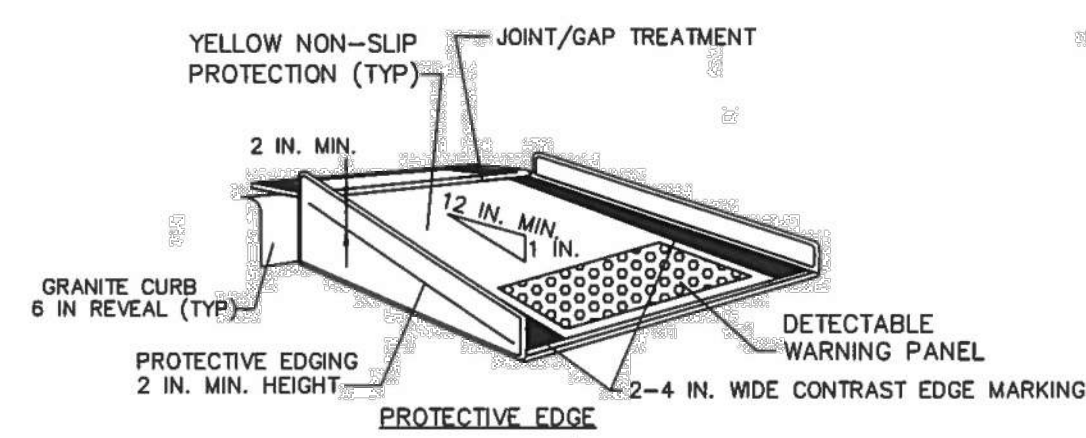
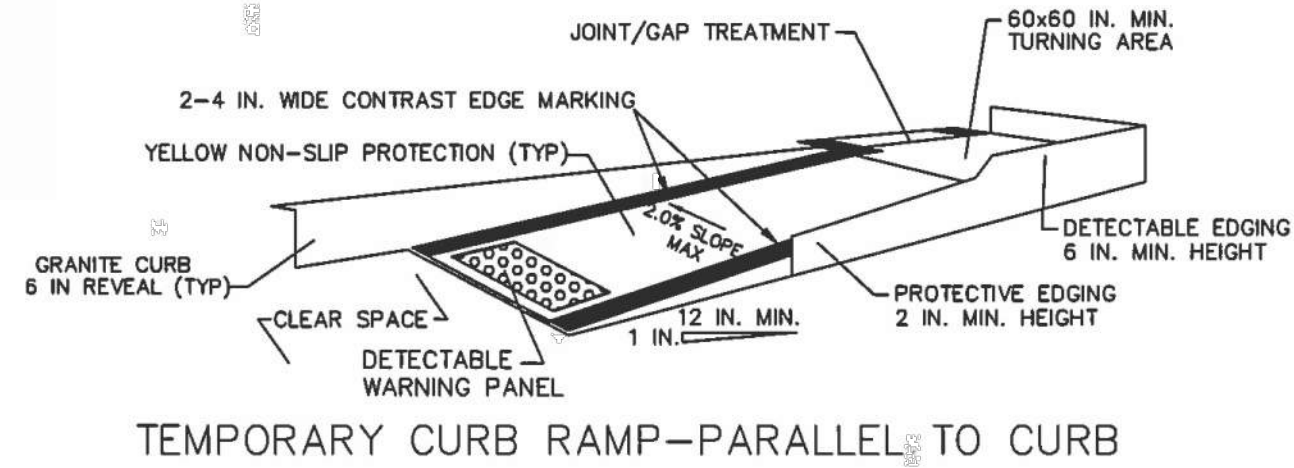
REVISIONS		
NO.	DESCRIPTION	DATE

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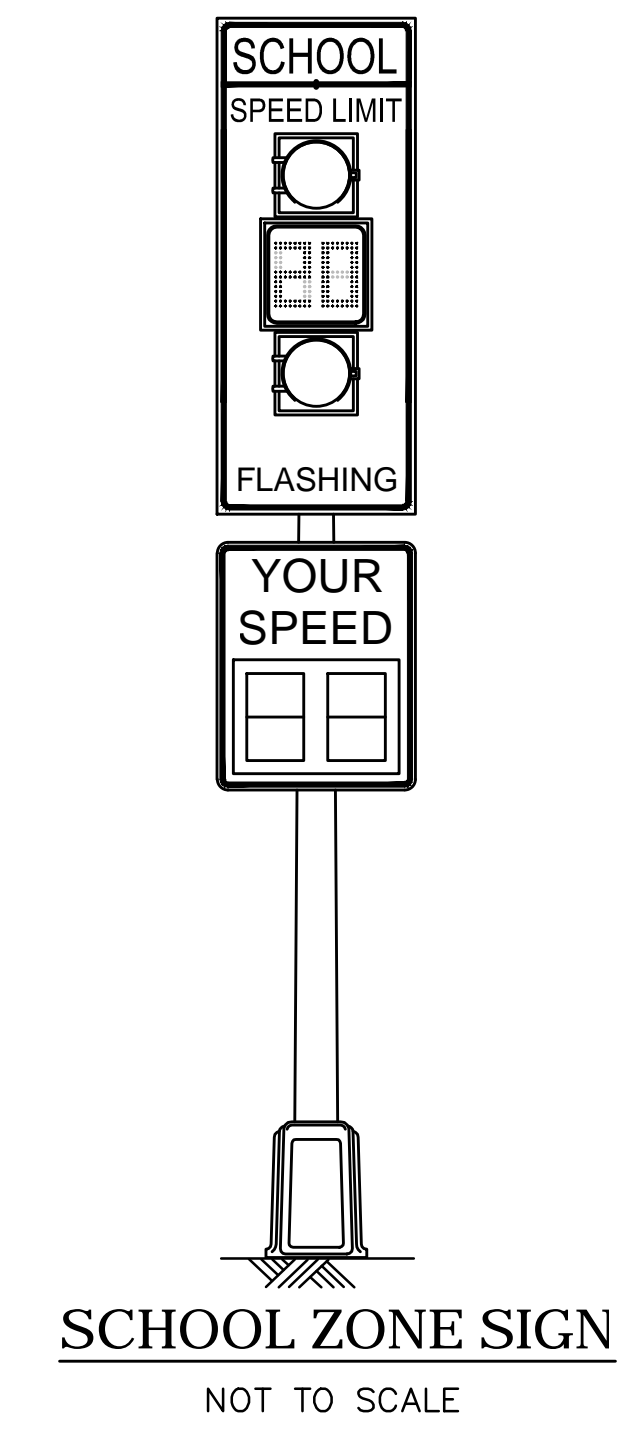
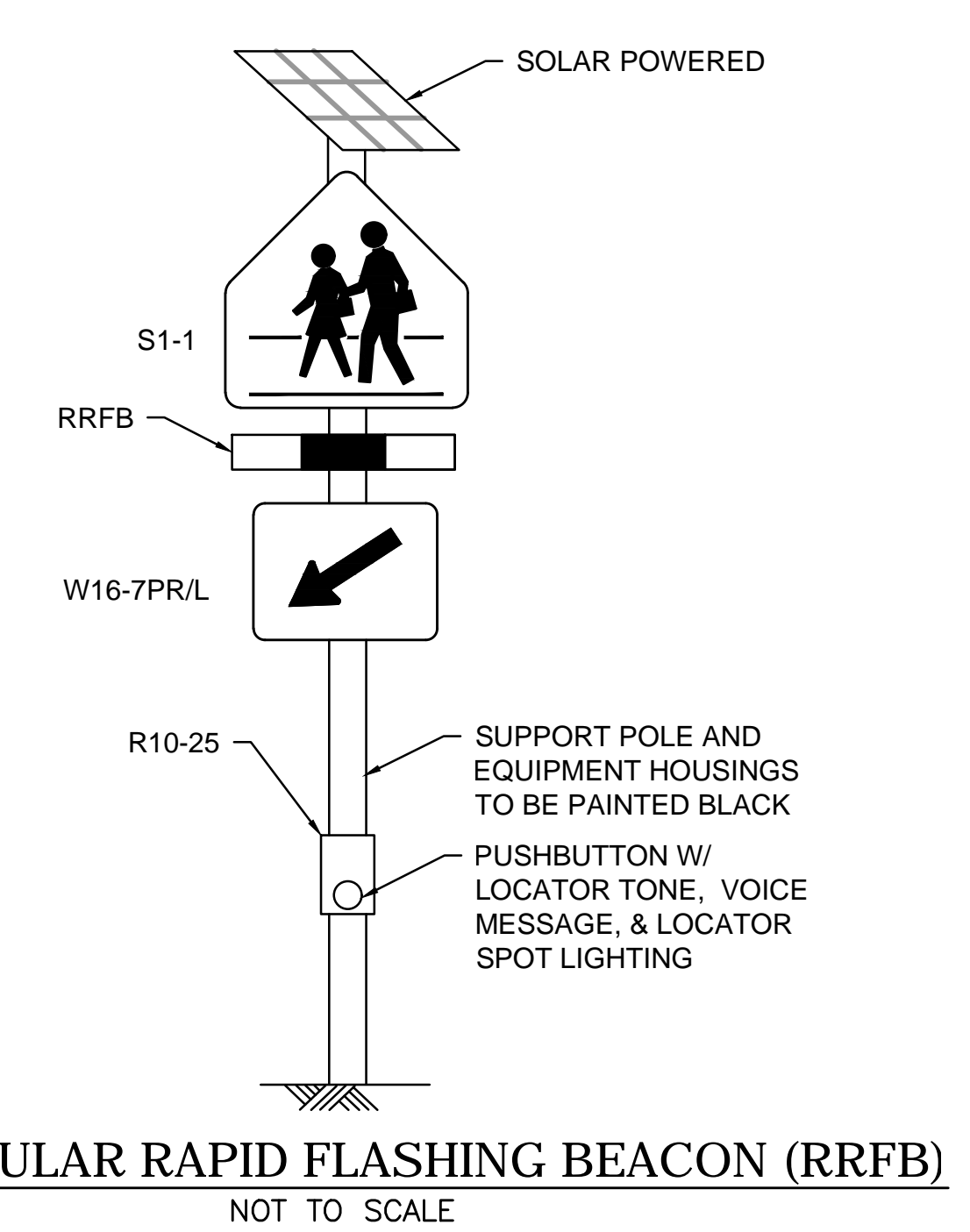
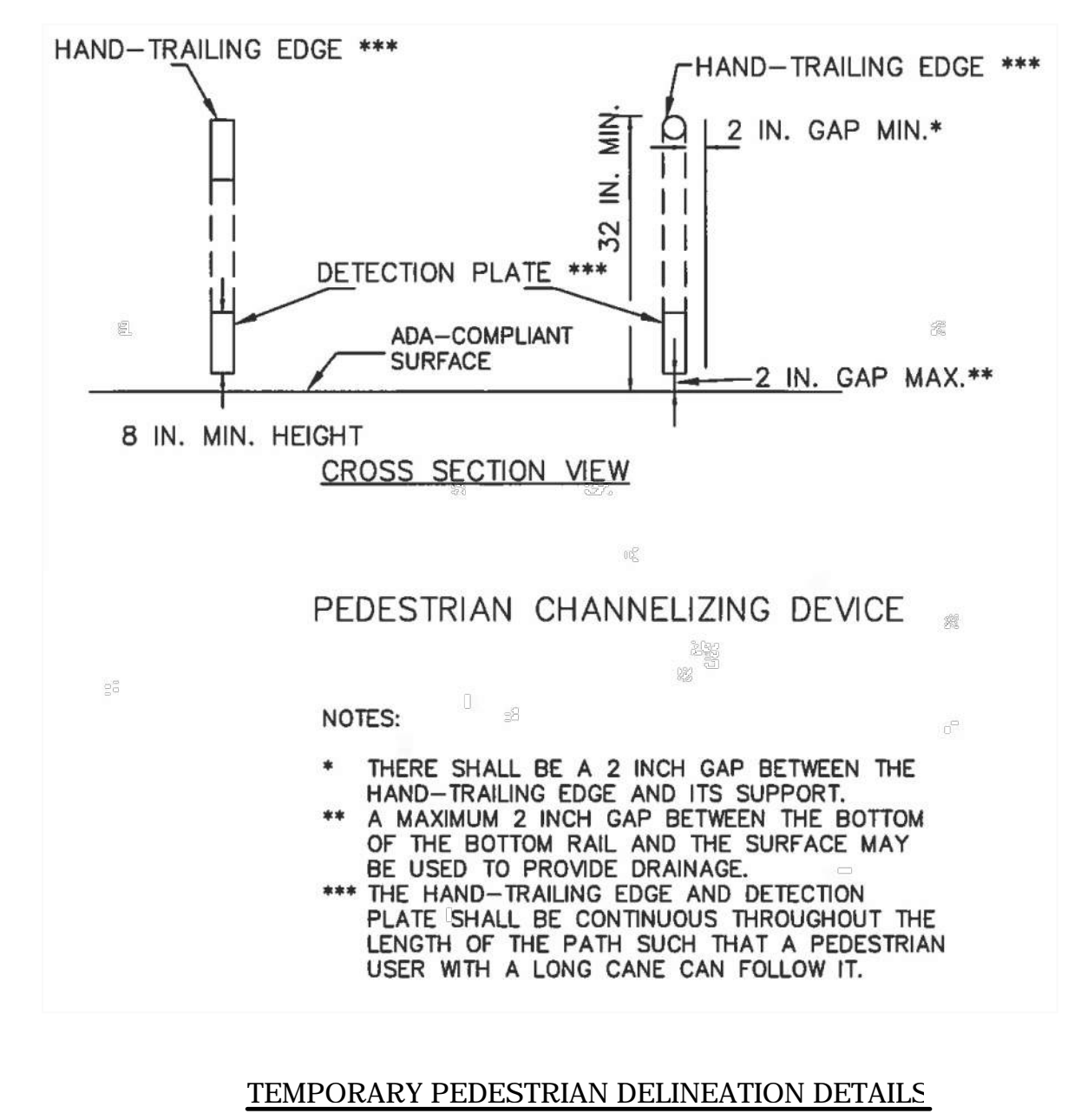
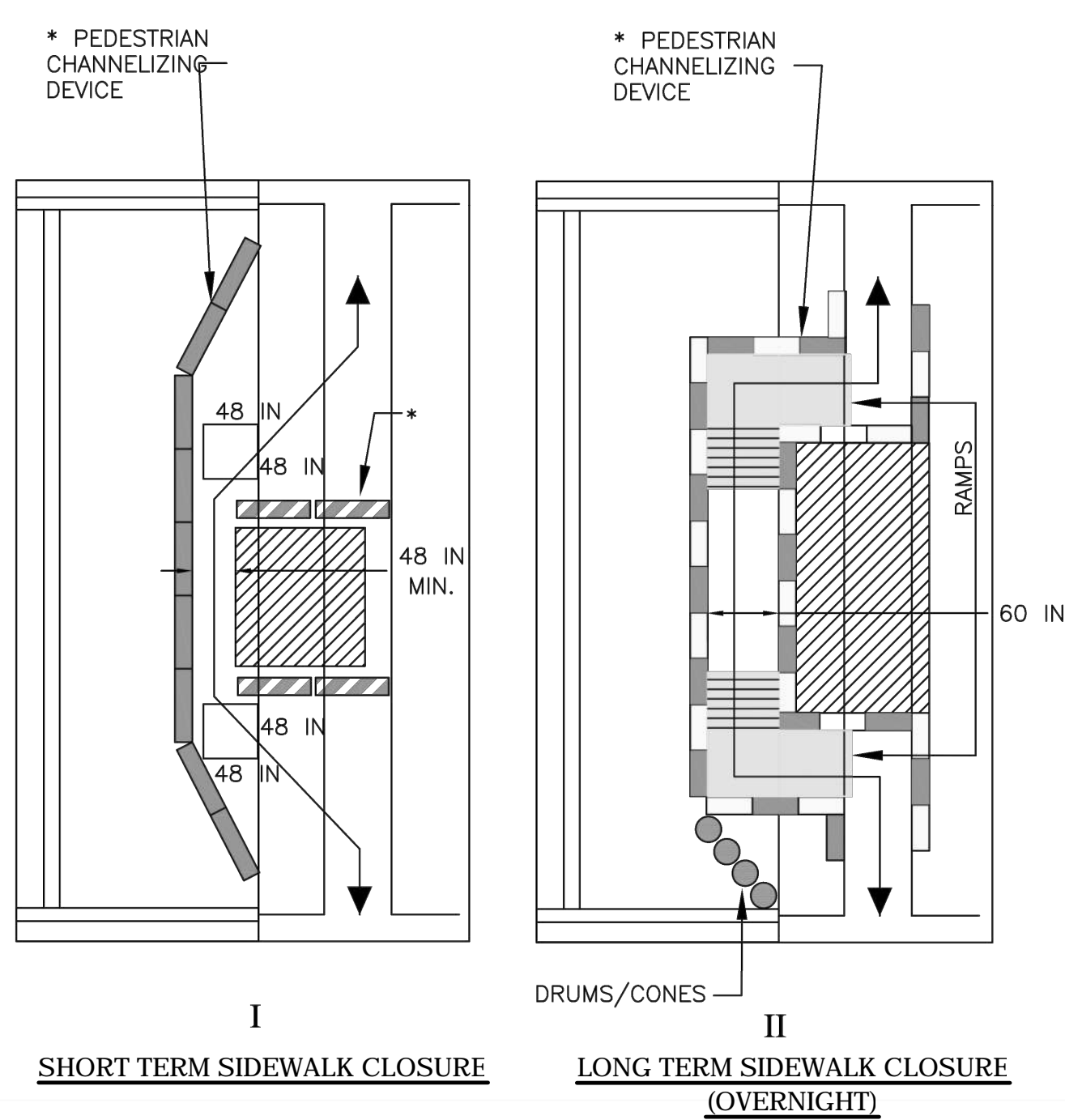
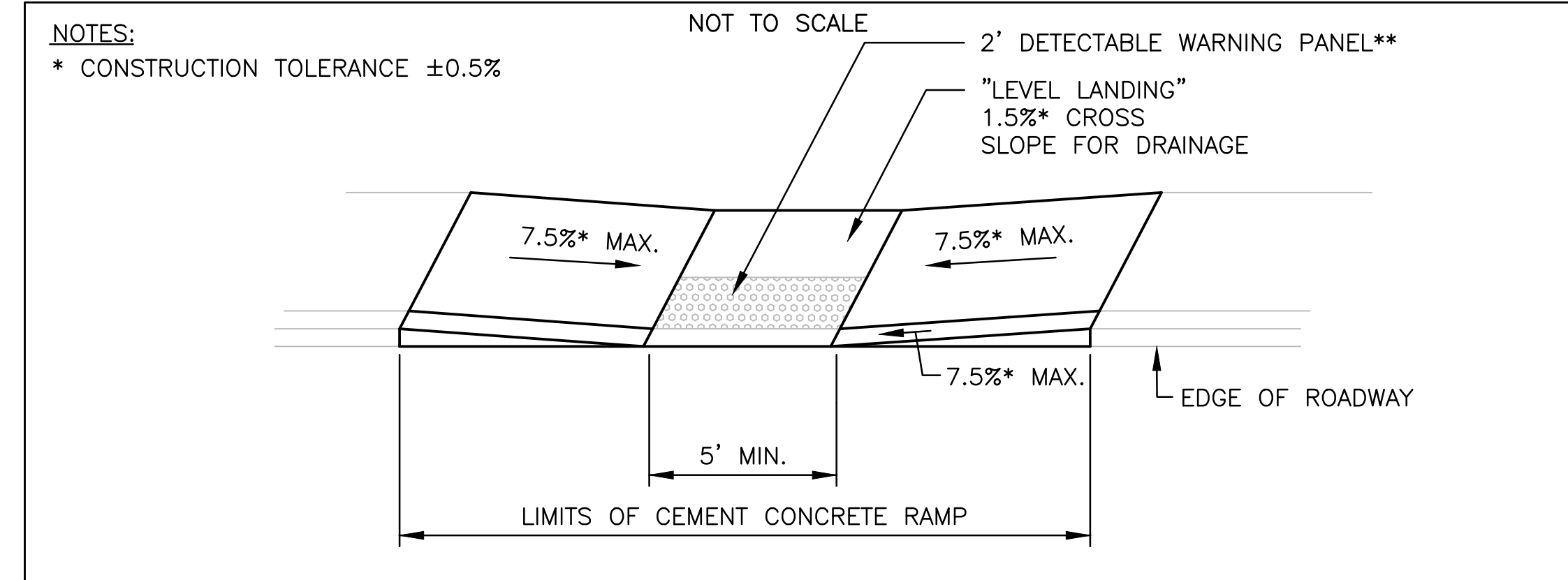
PEDESTRIAN TYPICAL DETAILS

NOTES:

- CURB RAMP SHALL BE 60 IN. MINIMUM WIDTH WITH A FIRM, STABLE AND NON-SLIP SURFACE.
- PROTECTIVE EDGING WITH A 2 IN. MINIMUM HEIGHT SHALL BE INSTALLED WHEN THE CURB RAMP OR LANDING PLATFORM HAS A VERTICAL DROP OF 6 IN. OR GREATER OR HAS A SIDE APRON SLOPE STEEPER THAN 1:3 (33%).
- PROTECTIVE EDGING SHOULD BE CONSIDERED WHEN THE CURB RAMP OR LANDING PLATFORMS HAVE A VERTICAL DROP OF 3 IN. OR MORE.
- DETECTABLE EDGING WITH 6 IN. MINIMUM HEIGHT AND CONTRASTING COLOR SHALL BE INSTALLED ON ALL CURB RAMP LANDINGS WHERE THE WALKWAY CHANGES DIRECTION (TURNS).
- THE CURB RAMP WALKWAY AND LANDING AREA SURFACE SHALL BE OF A SOLID CONTINUOUS CONTRASTING COLOR ABUTTING UP TO THE EXISTING SIDEWALK.
- CURB RAMP AND LANDINGS SHOULD HAVE A 1:50 (2%) MAX CROSS-SLOPE.
- CLEAR SPACE OF 48x48 IN. MINIMUM SHALL BE PROVIDED ABOVE AND BELOW THE CURB RAMP.
- WATER FLOW IN THE GUTTER SYSTEM SHALL HAVE MINIMAL RESTRICTION.
- LATERAL JOINTS OR GAPS BETWEEN SURFACES SHALL BE LESS THAN 0.5 IN. WIDTH.
- CHANGES BETWEEN SURFACE HEIGHTS SHOULD NOT EXCEED 0.5 IN. LATERAL EDGES SHOULD BE VERTICAL UP TO 0.25 IN. HIGH, AND BEVELED AT 1:2 BETWEEN 0.25 IN. AND 0.5 IN. HEIGHT.
- IF A TEMPORARY PEDESTRIAN RAMP LEADS TO A CROSSWALK, THEN A DETECTABLE WARNING PAD MUST BE ADHERED TO THE BASE OF THE RAMP. IF IT LEADS TO A PROTECTED PEDESTRIAN BYPASS THAT DOES NOT CONFLICT WITH VEHICULAR TRAFFIC, THEN A PAD SHALL NOT BE INSTALLED ON THE RAMP.



- LANDING AREA USED TO OVERLAP NON-ADA COMPLIANT SURFACES.
- ** -DETECTABLE EDGE REMOVED IF A CONTINUOUS SIDEWALK.
- *** -60 IN. IF AN OBSTRUCTION IS AT BACK OF SIDEWALK



RELOCATING PEDESTRIAN FACILITIES

NOT TO SCALE

NOTE: CONTRACTOR SHALL MAINTAIN ADA-COMPLIANT PEDESTRIAN ACCESS ALONG ALL SIDEWALKS AND CROSSWALKS, AND TO ALL ABUTTERS. ANY PEDESTRIAN DETOURS SHALL INCLUDE A FULLY ADA-COMPLIANT PEDESTRIAN DETOUR ROUTE WITH PROPER BARRICADES, RAILINGS, RAMPS, AND SIGNAGE.

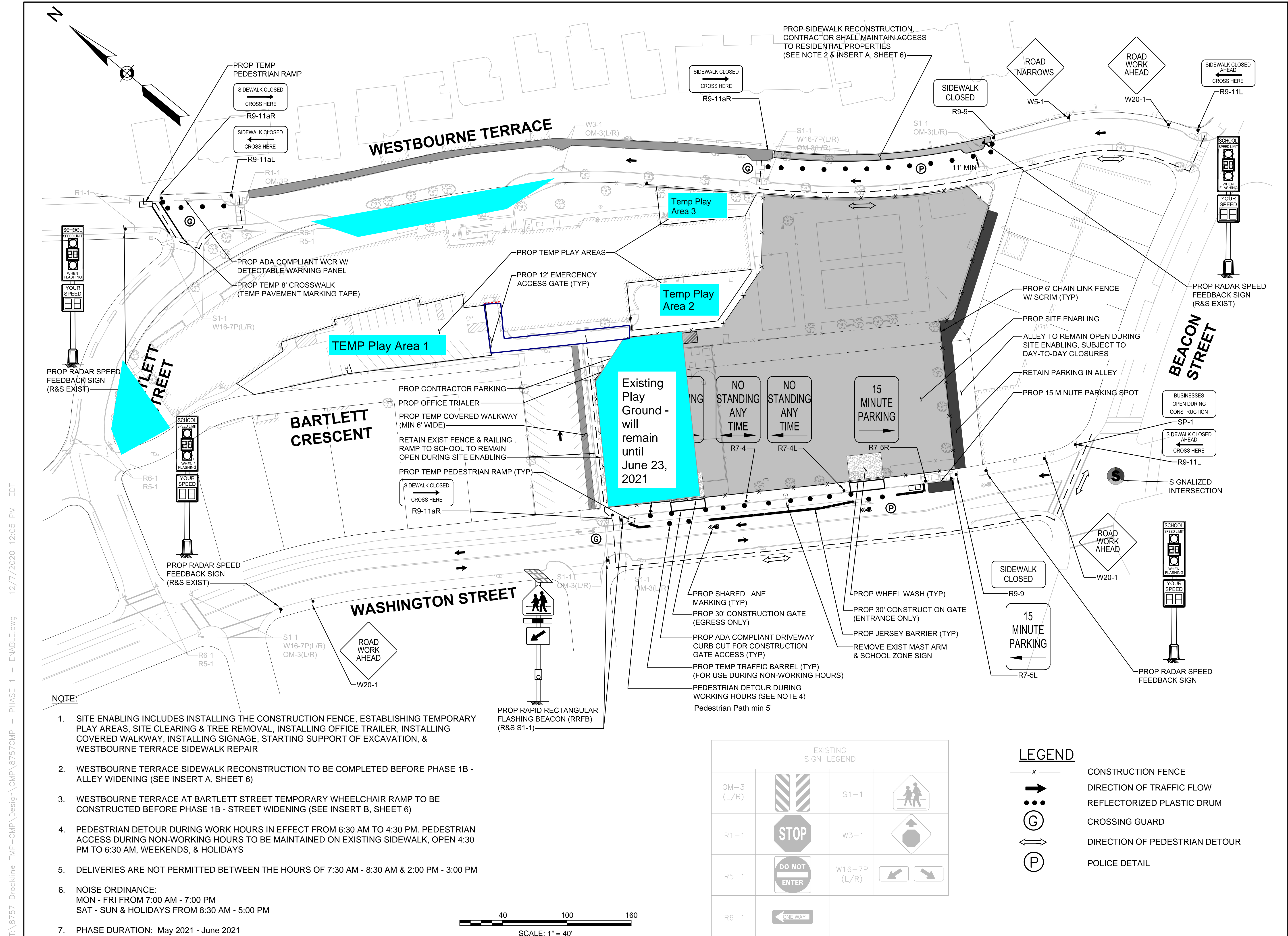
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DATE	DECEMBER 2020
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NO.	DESCRIPTION	DATE

DRAWING TITLE

**Phase 1 –
 Site Enabling**

SHEET 5 OF 17	DRAWING NUMBER
JOB NO. 8757	5A
CAD RSTOMP - PHASE 1 - ENAB	



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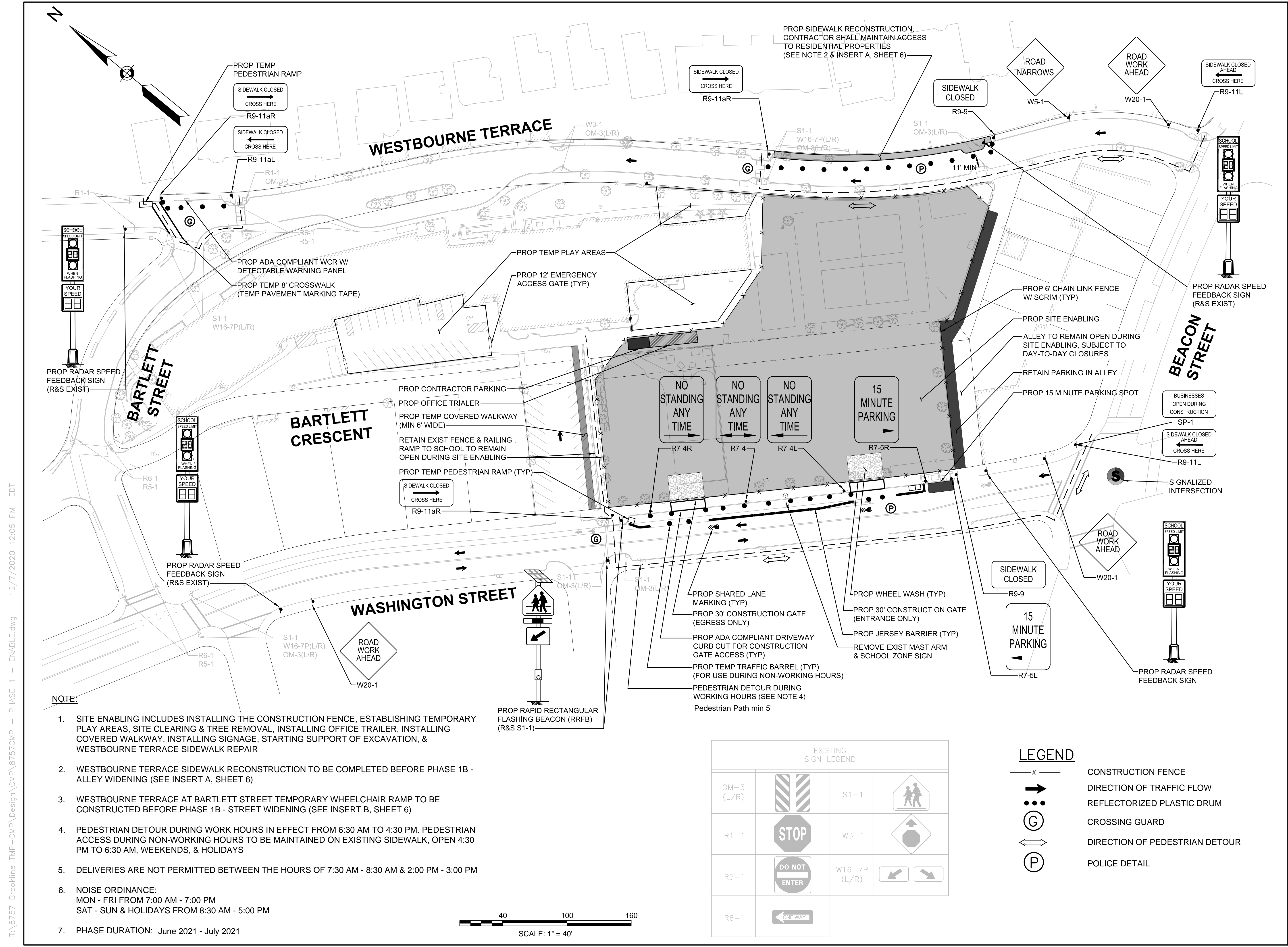
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STAMP	

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NO.	DESCRIPTION	DATE

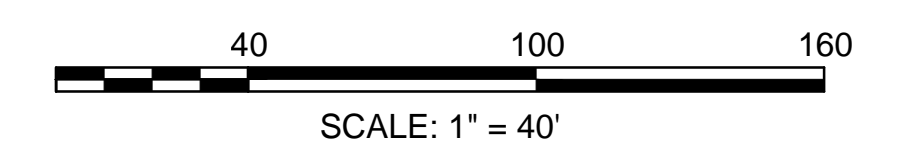
DRAWING TITLE

**Phase 1 –
 Site Enabling**

SHEET 5 OF 17	DRAWING NUMBER
JOB NO. 8757	5B
CAD RSTOMP - PHASE 1 - ENAB	



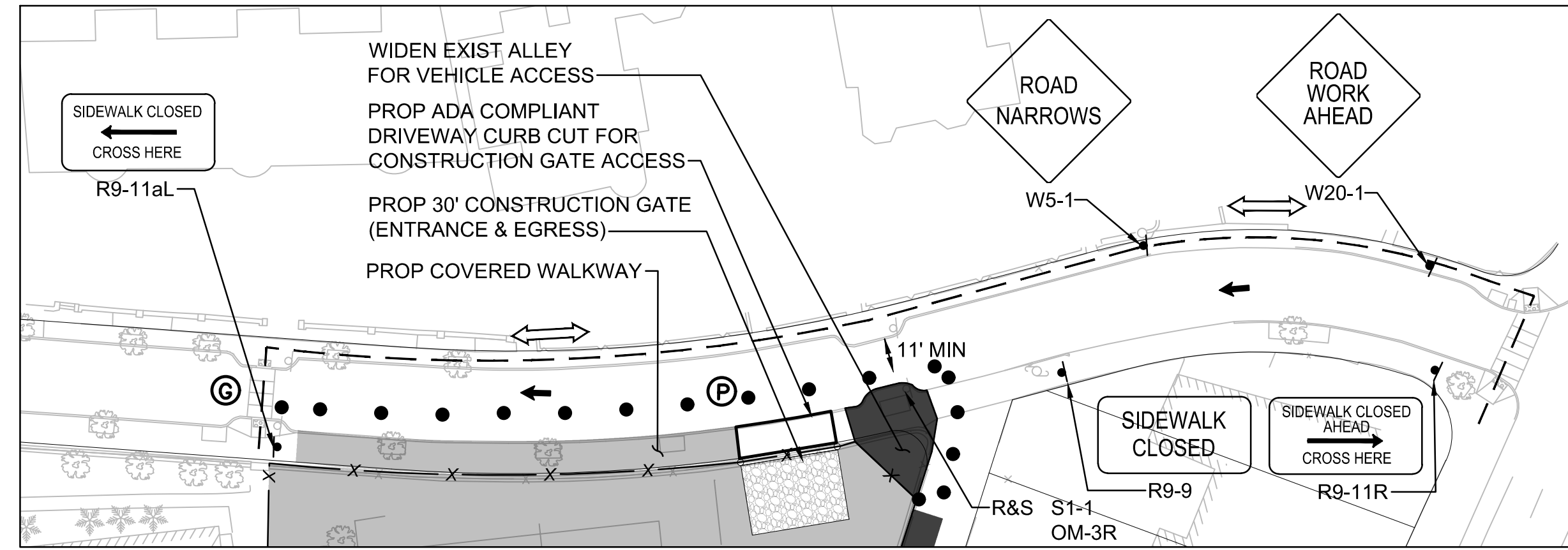
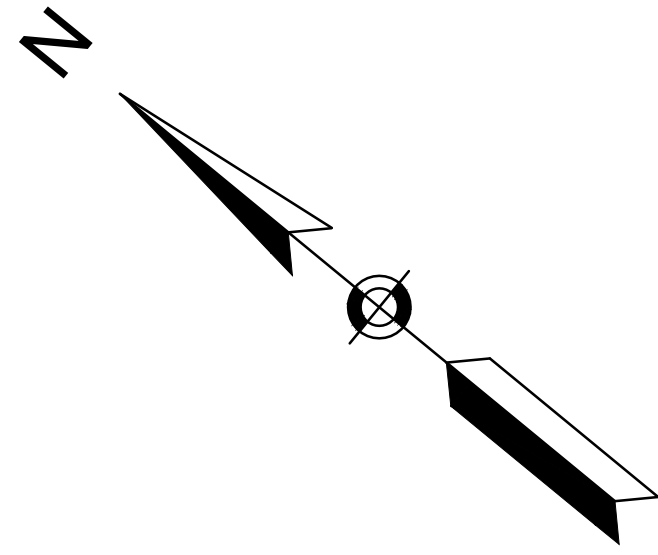
- NOTE:**
- SITE ENABLING INCLUDES INSTALLING THE CONSTRUCTION FENCE, ESTABLISHING TEMPORARY PLAY AREAS, SITE CLEARING & TREE REMOVAL, INSTALLING OFFICE TRAILER, INSTALLING COVERED WALKWAY, INSTALLING SIGNAGE, STARTING SUPPORT OF EXCAVATION, & WESTBOURNE TERRACE SIDEWALK REPAIR
 - WESTBOURNE TERRACE SIDEWALK RECONSTRUCTION TO BE COMPLETED BEFORE PHASE 1B - ALLEY WIDENING (SEE INSERT A, SHEET 6)
 - WESTBOURNE TERRACE AT BARTLETT STREET TEMPORARY WHEELCHAIR RAMP TO BE CONSTRUCTED BEFORE PHASE 1B - STREET WIDENING (SEE INSERT B, SHEET 6)
 - PEDESTRIAN DETOUR DURING WORK HOURS IN EFFECT FROM 6:30 AM TO 4:30 PM. PEDESTRIAN ACCESS DURING NON-WORKING HOURS TO BE MAINTAINED ON EXISTING SIDEWALK, OPEN 4:30 PM TO 6:30 AM, WEEKENDS, & HOLIDAYS
 - DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
 - NOISE ORDINANCE:
 MON - FRI FROM 7:00 AM - 7:00 PM
 SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
 - PHASE DURATION: June 2021 - July 2021



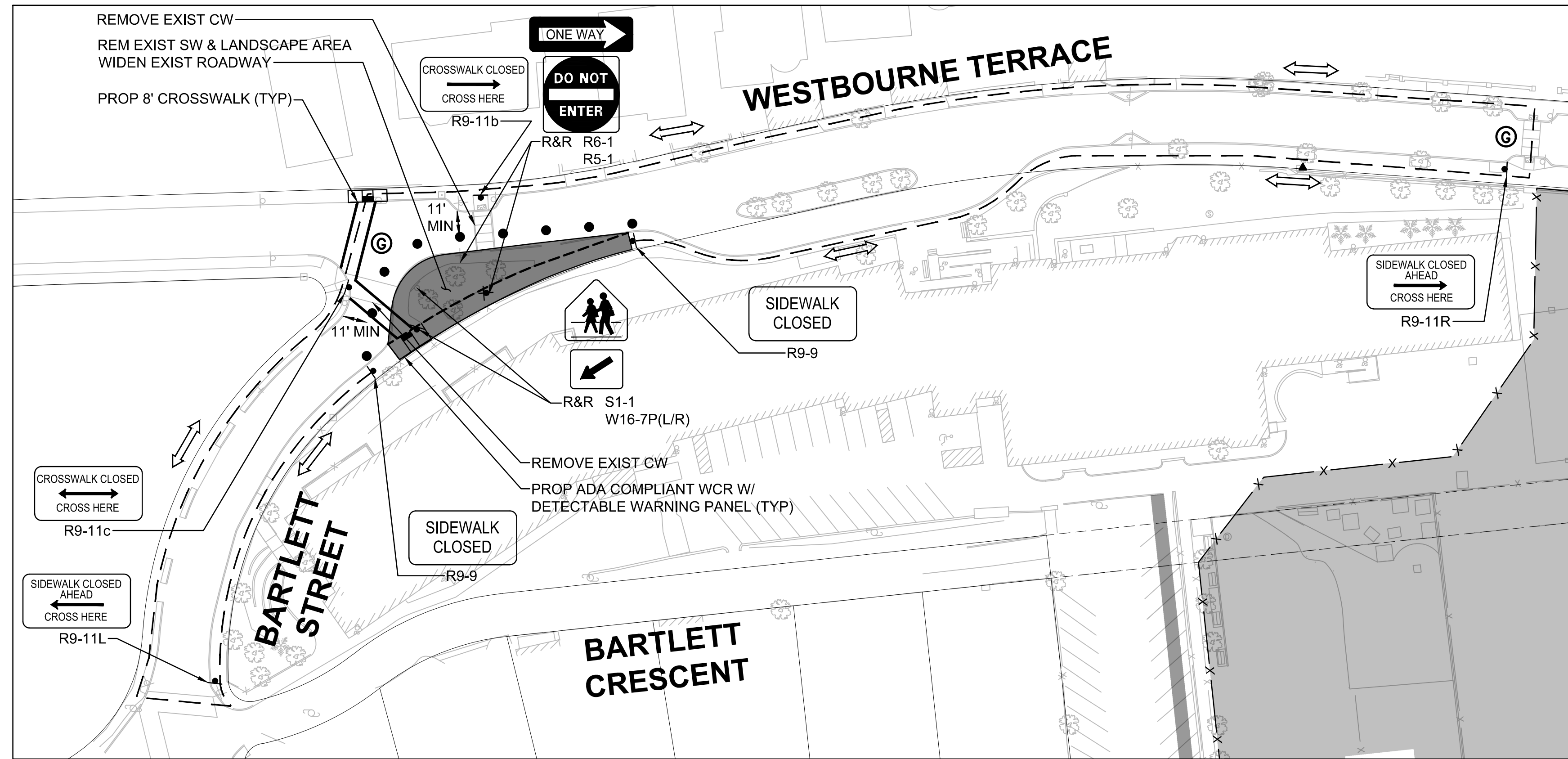
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OM-3 (L/R)		S1-1	
R1-1		W3-1	
R5-1		W16-7P (L/R)	
R6-1			

- LEGEND**
- CONSTRUCTION FENCE
 - DIRECTION OF TRAFFIC FLOW
 - REFLECTORIZED PLASTIC DRUM
 - CROSSING GUARD
 - DIRECTION OF PEDESTRIAN DETOUR
 - POLICE DETAIL

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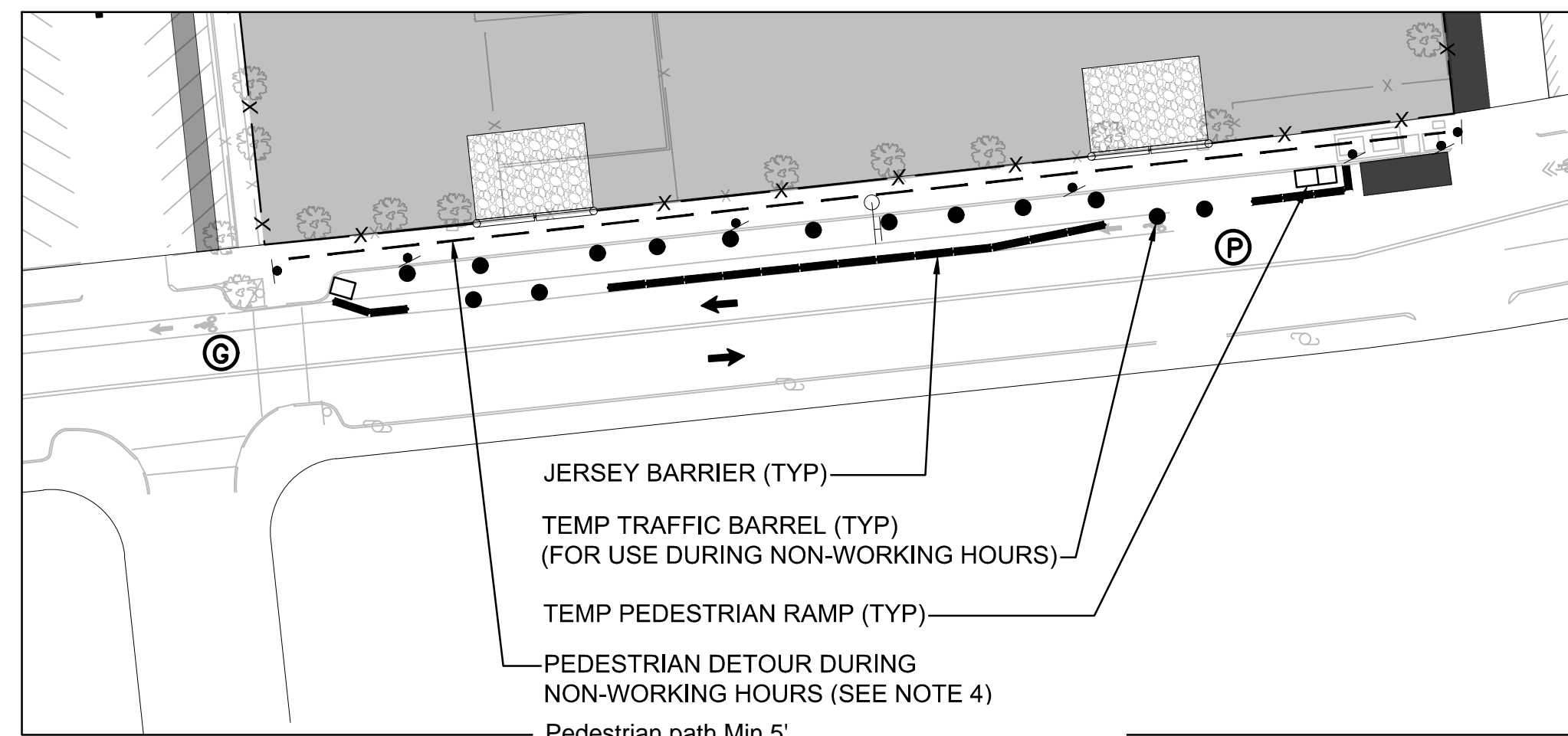
INSERT A - WESTBOURNE TERRACE
PHASE 1B - SITE ENABLING & ALLEY WIDENING



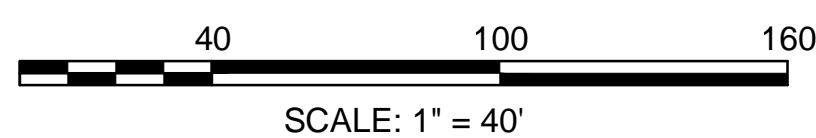
INSERT B - WESTBOURNE TERRACE AT BARTLETT STREET
PHASE 1B - STREET WIDENING

NOTE:

1. SITE ENABLING INCLUDES INSTALLING THE CONSTRUCTION FENCE, ESTABLISHING TEMPORARY PLAY AREAS, SITE CLEARING & TREE REMOVAL, INSTALLING OFFICE TRAILER, INSTALLING COVERED WALKWAY, INSTALLING SIGNAGE, STARTING SUPPORT OF EXCAVATION, & WESTBOURNE TERRACE SIDEWALK REPAIR
2. WESTBOURNE TERRACE SIDEWALK RECONSTRUCTION TO BE COMPLETED BEFORE PHASE 1B - ALLEY WIDENING
3. WESTBOURNE TERRACE AT BARTLETT STREET TEMPORARY WHEELCHAIR RAMP TO BE CONSTRUCTED BEFORE PHASE 1B - STREET WIDENING
4. PEDESTRIAN ACCESS DURING NON-WORKING HOURS TO BE MAINTAINED ON EXISTING SIDEWALK, OPEN 4:30 PM TO 6:30 AM, WEEKENDS, & HOLIDAYS
5. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
6. NOISE ORDINANCE:
MON - FRI FROM 7:00 AM - 7:00 PM
SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
7. PHASE DURATION: May 2021 - June 2021



INSERT C - WASHINGTON STREET PEDESTRIAN ACCESS
DURING NON-WORKING HOURS



LEGEND

- x- CONSTRUCTION FENCE
- ➔ DIRECTION OF TRAFFIC FLOW
- REFLECTORIZED PLASTIC DRUM
- ⓐ CROSSING GUARD
- ↔ DIRECTION OF PEDESTRIAN DETOUR
- Ⓟ POLICE DETAIL

PROJECT TITLE

Michael Driscoll School
Construction Management
Plan

Brookline,
Massachusetts

PREPARED FOR

Gilbane Building
Company

Boston,
Massachusetts



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Phase 1B –
Site Enabling

SHEET 6 OF 17	DRAWING NUMBER
JOB NO. 8757	6
CAD 87570MP - PHASE 1 - ENABLE	

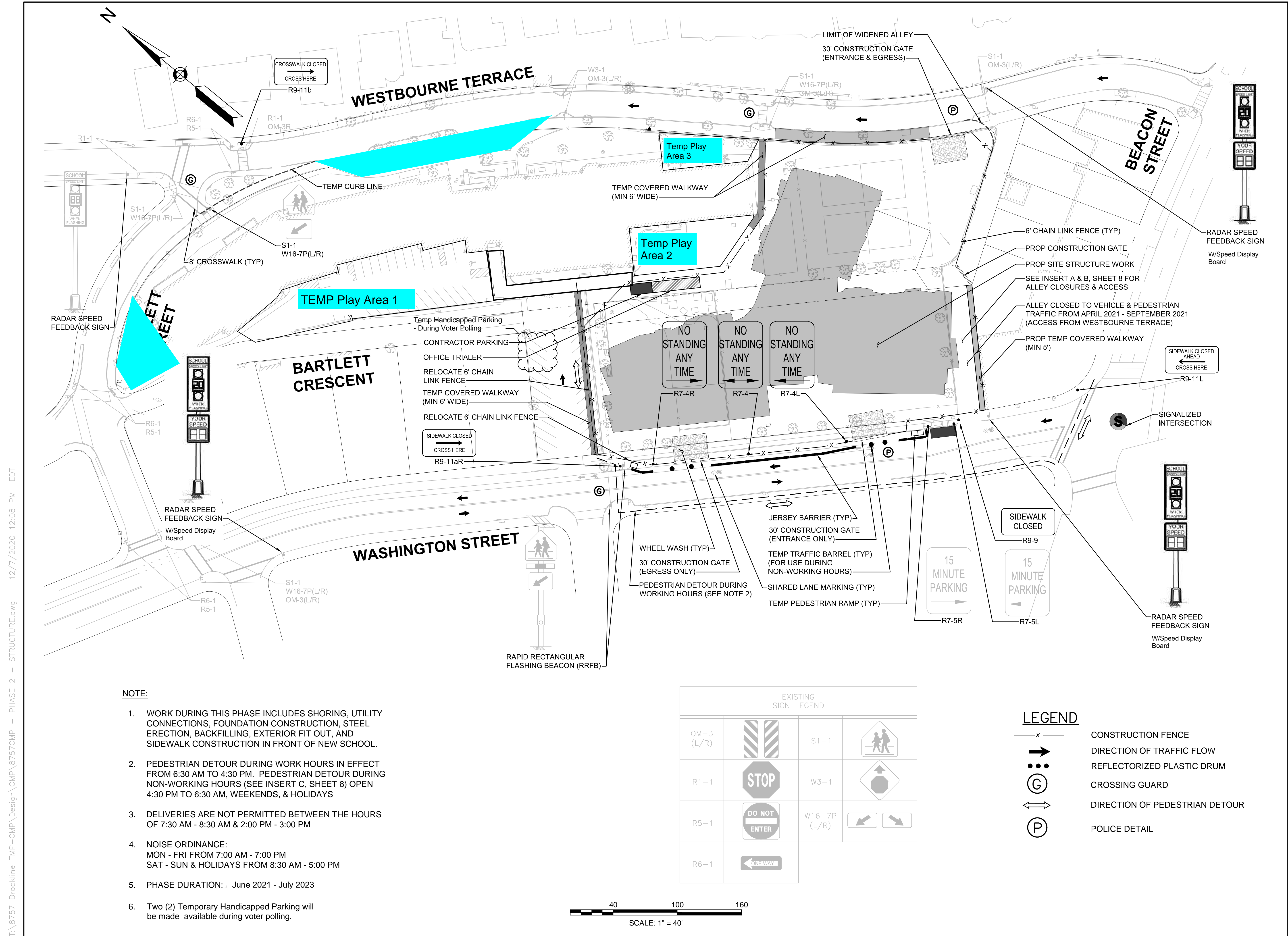
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DRAWING TITLE

**Phase 2 –
 Building Construction**

SHEET 7 OF 17	DRAWING NUMBER
JOB NO. 8757	7
CAD 8757CMP - PHASE 2 - STRUCTURE	

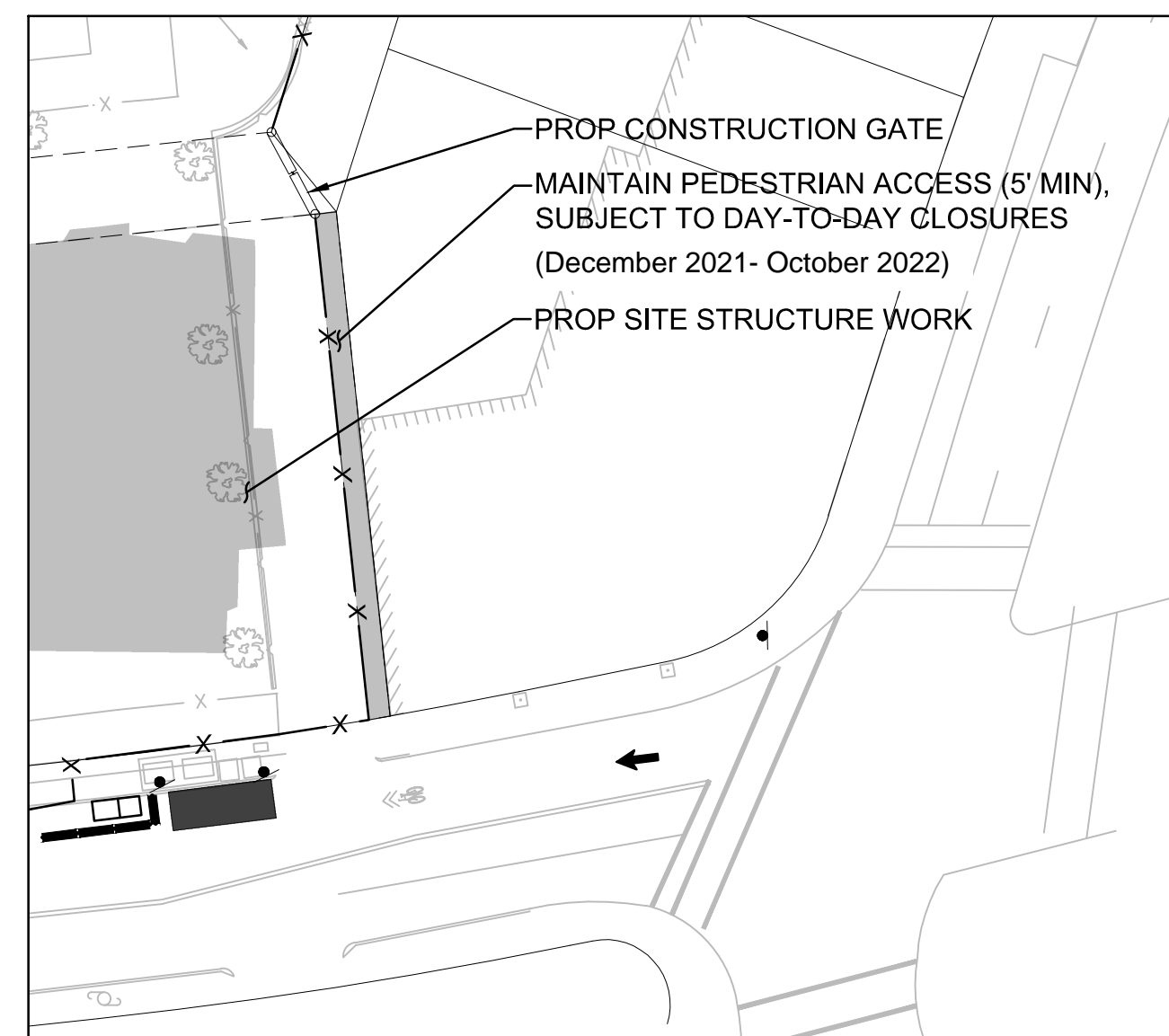
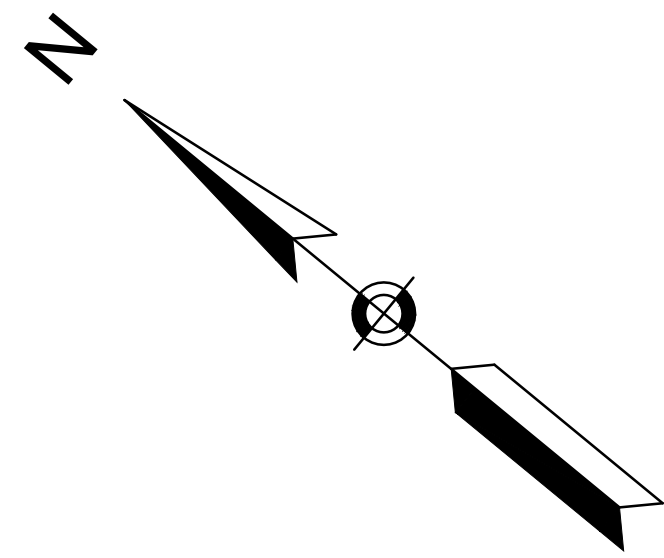


- NOTE:**
1. WORK DURING THIS PHASE INCLUDES SHORING, UTILITY CONNECTIONS, FOUNDATION CONSTRUCTION, STEEL ERECTION, BACKFILLING, EXTERIOR FIT OUT, AND SIDEWALK CONSTRUCTION IN FRONT OF NEW SCHOOL.
 2. PEDESTRIAN DETOUR DURING WORK HOURS IN EFFECT FROM 6:30 AM TO 4:30 PM. PEDESTRIAN DETOUR DURING NON-WORKING HOURS (SEE INSERT C, SHEET 8) OPEN 4:30 PM TO 6:30 AM, WEEKENDS, & HOLIDAYS
 3. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
 4. NOISE ORDINANCE:
 MON - FRI FROM 7:00 AM - 7:00 PM
 SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
 5. PHASE DURATION: June 2021 - July 2023
 6. Two (2) Temporary Handicapped Parking will be made available during voter polling.

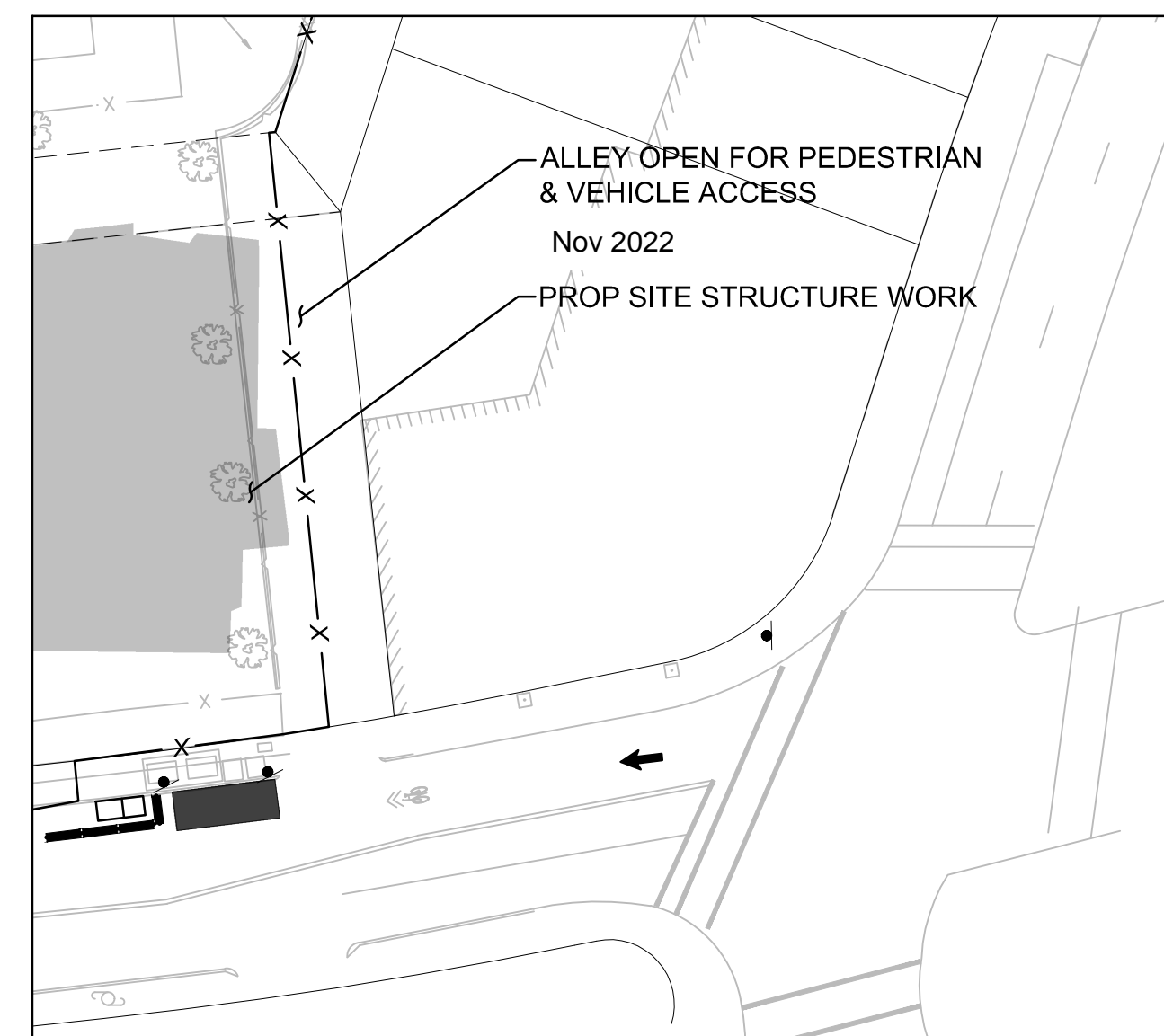
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OM-3 (L/R)		S1-1	
R1-1		W3-1	
R5-1		W16-7P (L/R)	
R6-1			

- LEGEND**
- x - CONSTRUCTION FENCE
 - ➔ DIRECTION OF TRAFFIC FLOW
 - REFLECTORIZED PLASTIC DRUM
 - Ⓞ CROSSING GUARD
 - ↔ DIRECTION OF PEDESTRIAN DETOUR
 - Ⓟ POLICE DETAIL

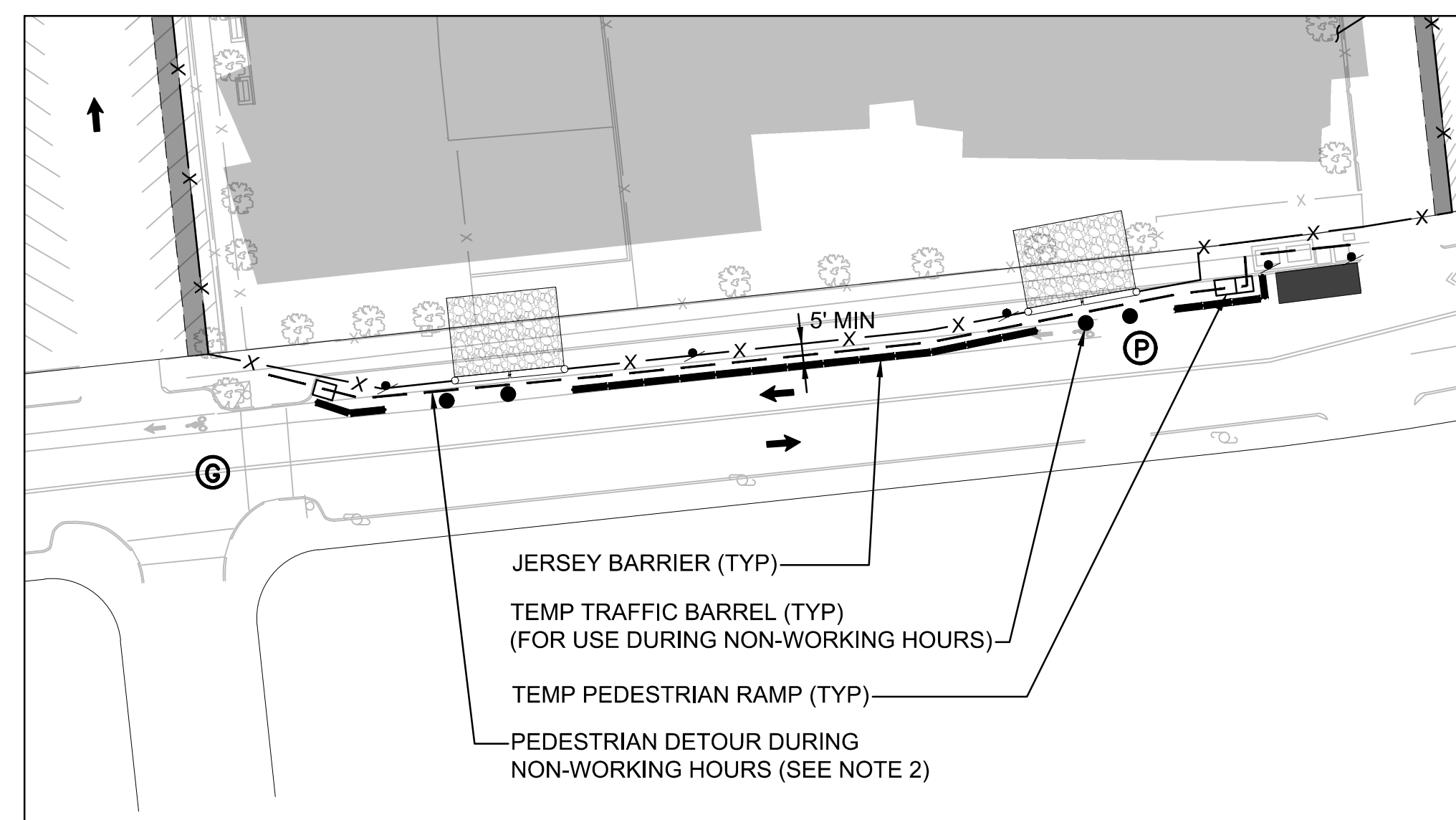
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INSERT A - ALLEY CLOSURE W/ PEDESTRIAN ACCESS
December 2021 - October 2022



INSERT B - ALLEY RE-OPENING
November 2022 - July 2023



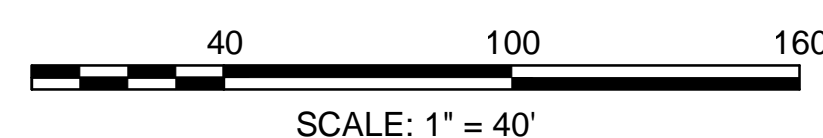
INSERT C - WASHINGTON STREET PEDESTRIAN DETOUR DURING NON-WORKING HOURS

NOTE:

1. WORK DURING THIS PHASE INCLUDES SHORING, UTILITY CONNECTIONS, FOUNDATION CONSTRUCTION, STEEL ERECTION, BACKFILLING, EXTERIOR FIT OUT, AND SIDEWALK CONSTRUCTION IN FRONT OF NEW SCHOOL.
2. PEDESTRIAN DETOUR DURING NON-WORKING HOURS OPEN 4:30 PM TO 6:30 AM, WEEKENDS, & HOLIDAYS
3. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
4. NOISE ORDINANCE:
MON - FRI FROM 7:00 AM - 7:00 PM
SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
5. PHASE DURATION June 2021 - July 2023

LEGEND

- CONSTRUCTION FENCE
- DIRECTION OF TRAFFIC FLOW
- REFLECTORIZED PLASTIC DRUM
- CROSSING GUARD
- DIRECTION OF PEDESTRIAN DETOUR
- POLICE DETAIL



PROJECT TITLE

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DRAWING TITLE

Phase 2 –
Building Construction

SHEET 8 OF 17	DRAWING NUMBER
JOB NO. 8757	8
CAD 8757CMP - PHASE 2 - STRUCTURE	

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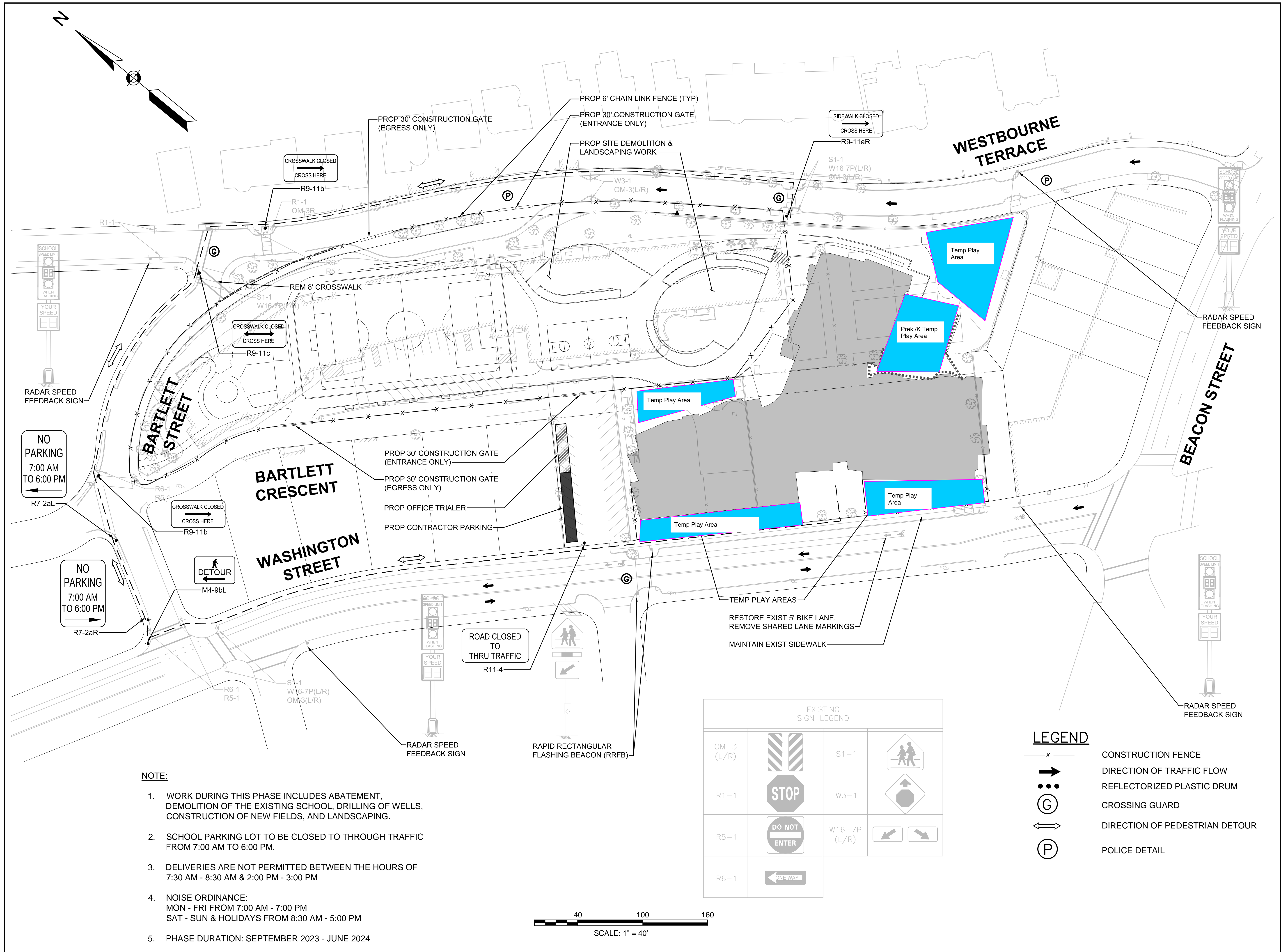
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REVISIONS		
NO.	DESCRIPTION	DATE

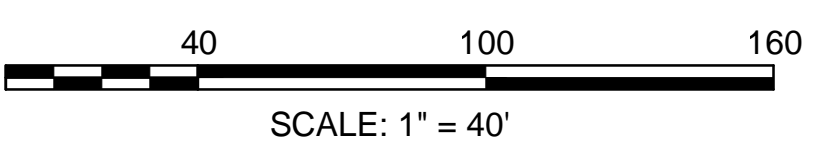
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**Phase 3 –
 Demolition, Field
 Construction &
 Landscaping**

SHEET 9 OF 17	DRAWING NUMBER
JOB NO. 8757	9
CAD 8757CMP - PHASE 3	



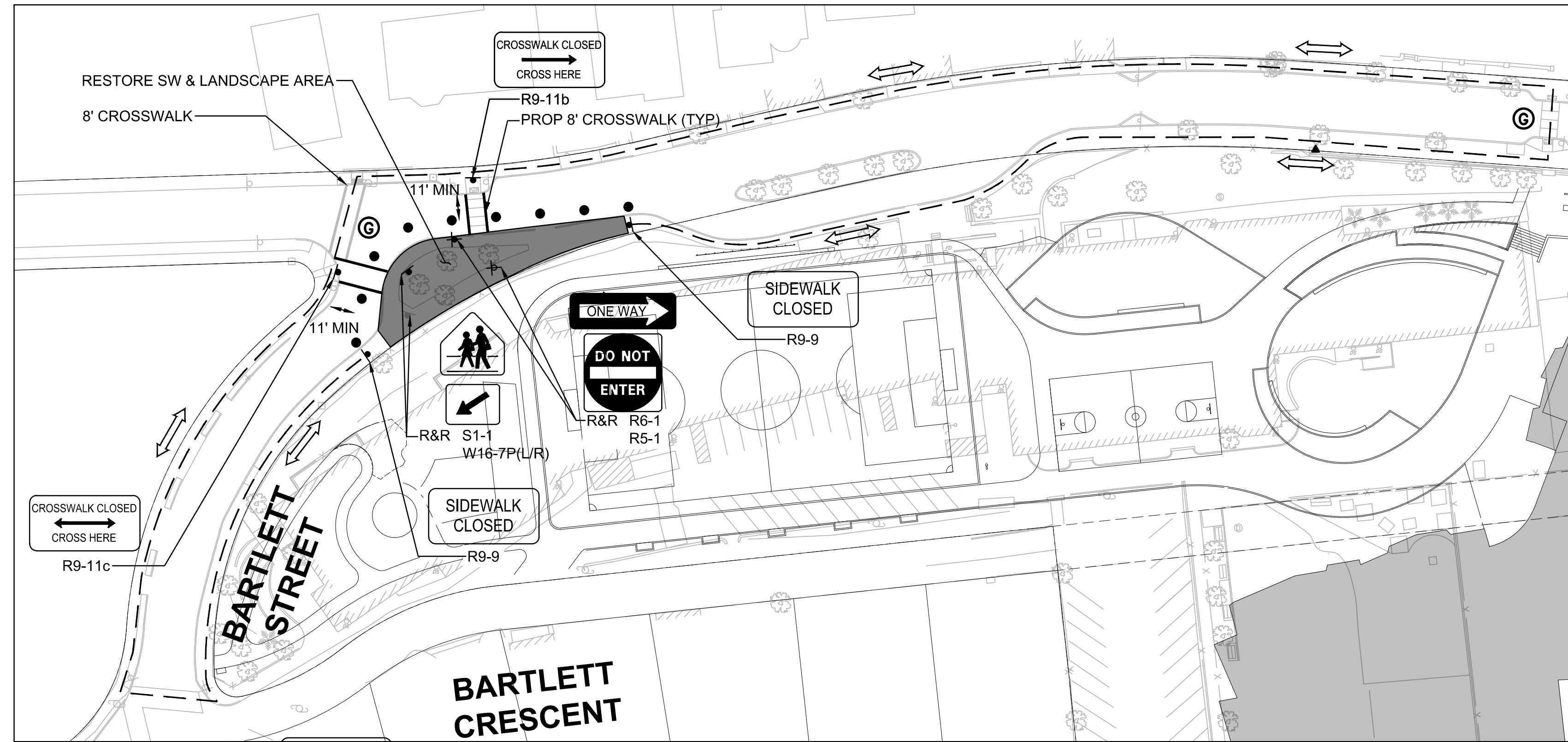
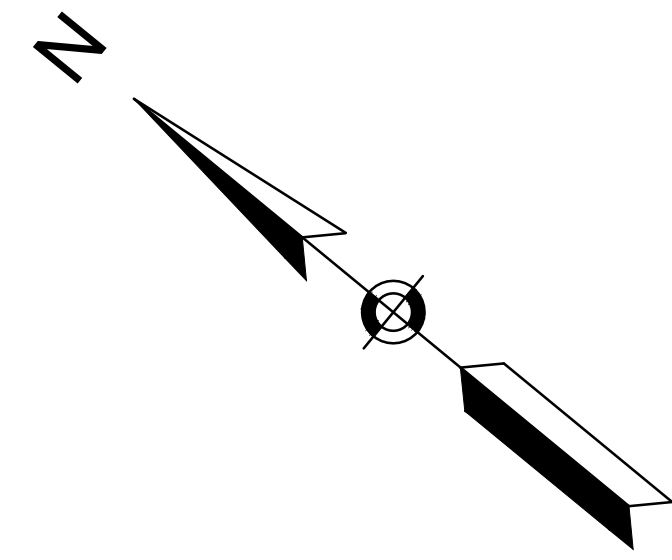
- NOTE:**
1. WORK DURING THIS PHASE INCLUDES ABATEMENT, DEMOLITION OF THE EXISTING SCHOOL, DRILLING OF WELLS, CONSTRUCTION OF NEW FIELDS, AND LANDSCAPING.
 2. SCHOOL PARKING LOT TO BE CLOSED TO THROUGH TRAFFIC FROM 7:00 AM TO 6:00 PM.
 3. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
 4. NOISE ORDINANCE:
 MON - FRI FROM 7:00 AM - 7:00 PM
 SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
 5. PHASE DURATION: SEPTEMBER 2023 - JUNE 2024



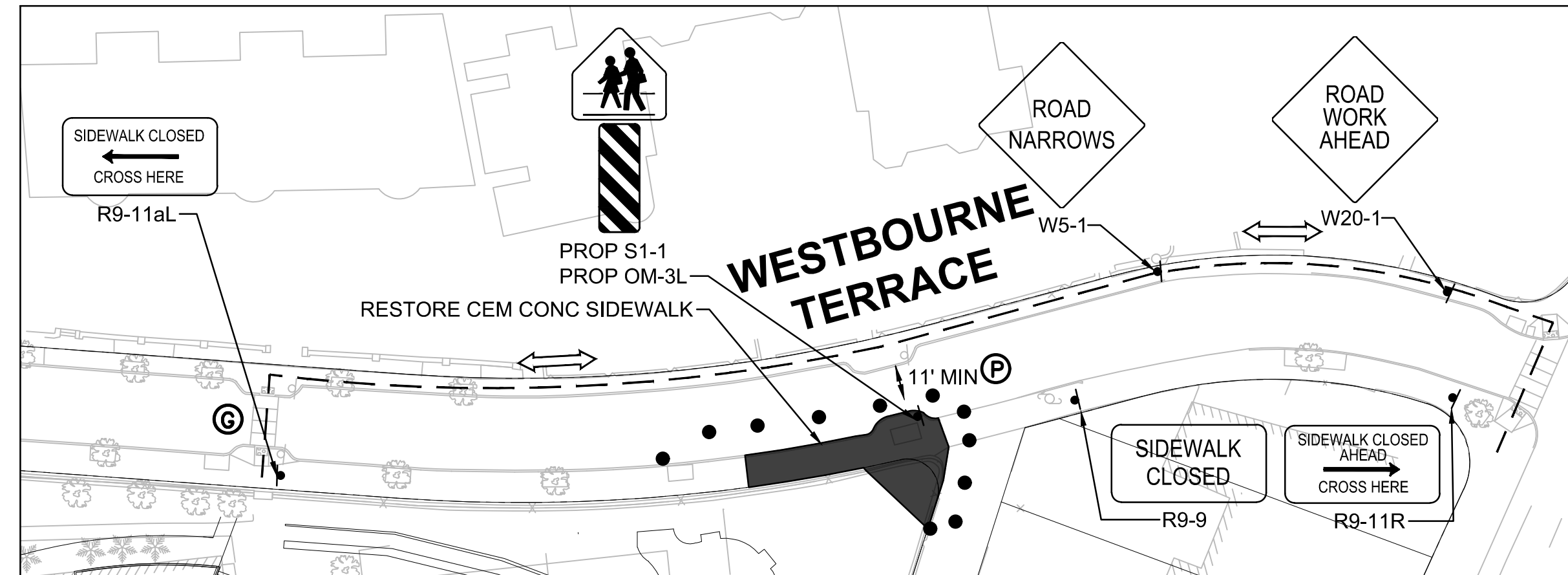
EXISTING SIGN LEGEND			
OM-3 (L/R)		S1-1	
R1-1		W3-1	
R5-1		W16-7P (L/R)	
R6-1			

- LEGEND**
- x- CONSTRUCTION FENCE
 - ➔ DIRECTION OF TRAFFIC FLOW
 - ⋯ REFLECTORIZED PLASTIC DRUM
 - Ⓞ CROSSING GUARD
 - ↔ DIRECTION OF PEDESTRIAN DETOUR
 - Ⓟ POLICE DETAIL

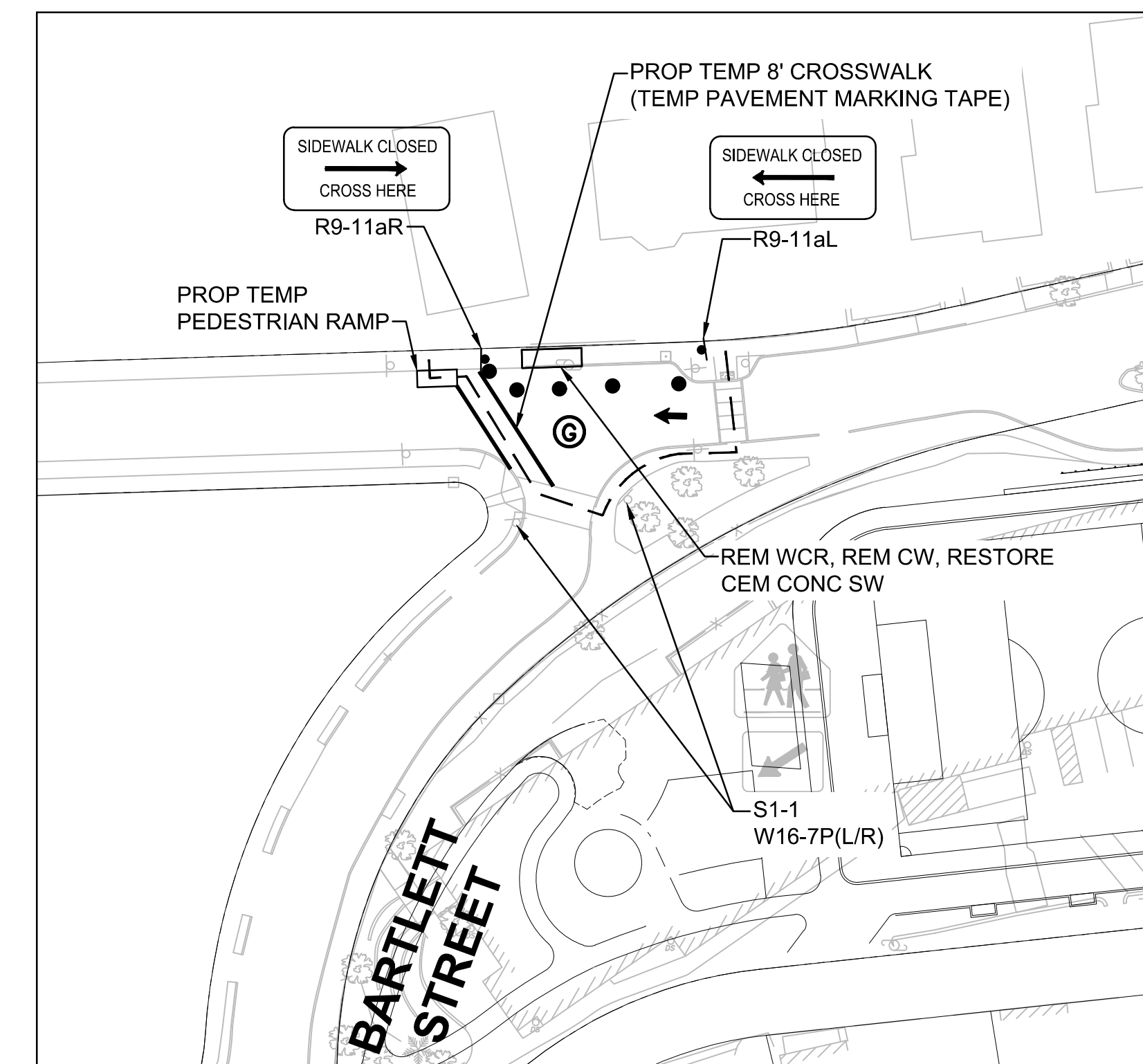
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**INSERT A - WESTBOURNE TERRACE AT BARTLETT STREET
 PHASE 3B - REBUILD SIDEWALK & LANDSCAPE AREA**



**INSERT B - WESTBOURNE TERRACE
 PHASE 3B - REBUILD SIDEWALK**



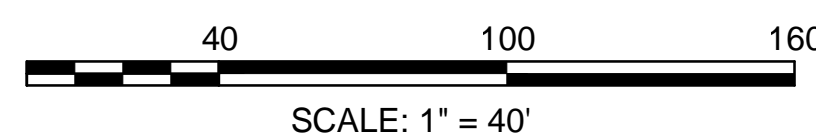
**INSERT C - WESTBOURNE TERRACE AT BARTLETT STREET
 PHASE 3C - REMOVE TEMPORARY WHEELCHAIR RAMP**

NOTE:

1. WORK DURING THIS PHASE INCLUDES ABATEMENT, DEMOLITION OF THE EXISTING SCHOOL, DRILLING OF WELLS, CONSTRUCTION OF NEW FIELDS, AND LANDSCAPING.
2. SCHOOL PARKING LOT TO BE CLOSED TO THROUGH TRAFFIC FROM 7:00 AM TO 6:00 PM.
3. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM
4. NOISE ORDINANCE:
 MON - FRI FROM 7:00 AM - 7:00 PM
 SAT - SUN & HOLIDAYS FROM 8:30 AM - 5:00 PM
5. PHASE DURATION: SEPTEMBER 2023 - JUNE 2024

LEGEND

- x - CONSTRUCTION FENCE
- ➔ DIRECTION OF TRAFFIC FLOW
- REFLECTORIZED PLASTIC DRUM
- Ⓞ CROSSING GUARD
- ↔ DIRECTION OF PEDESTRIAN DETOUR
- Ⓟ POLICE DETAIL



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DRAWING TITLE

**Phase 3B & 3C -
 Demolition, Field
 Construction &
 Landscaping**

SHEET 10 OF 17	DRAWING NUMBER
JOB NO. 8757	10
CAD 8757CMP - PHASE 3	

PROJECT TITLE
**Michael Driscoll School
 Construction Management
 Plan**

**Brookline,
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PREPARED FOR
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**Boston,
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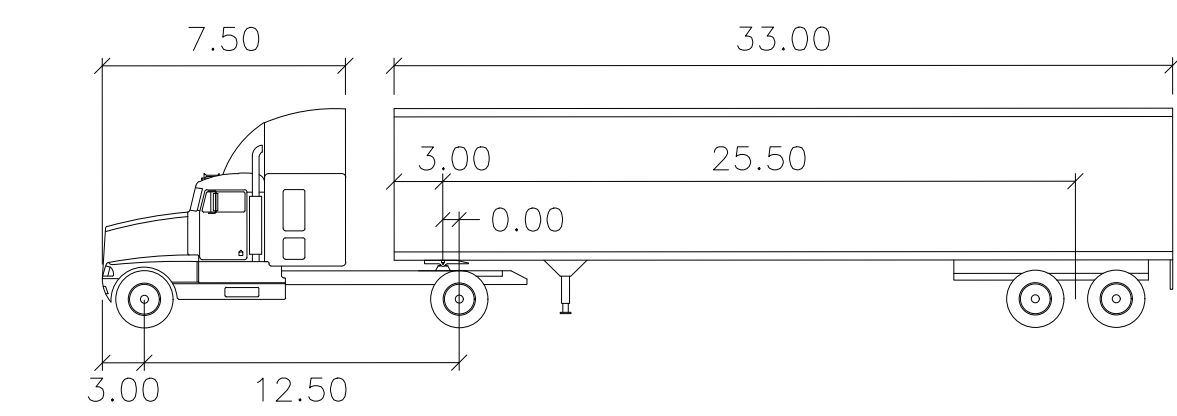
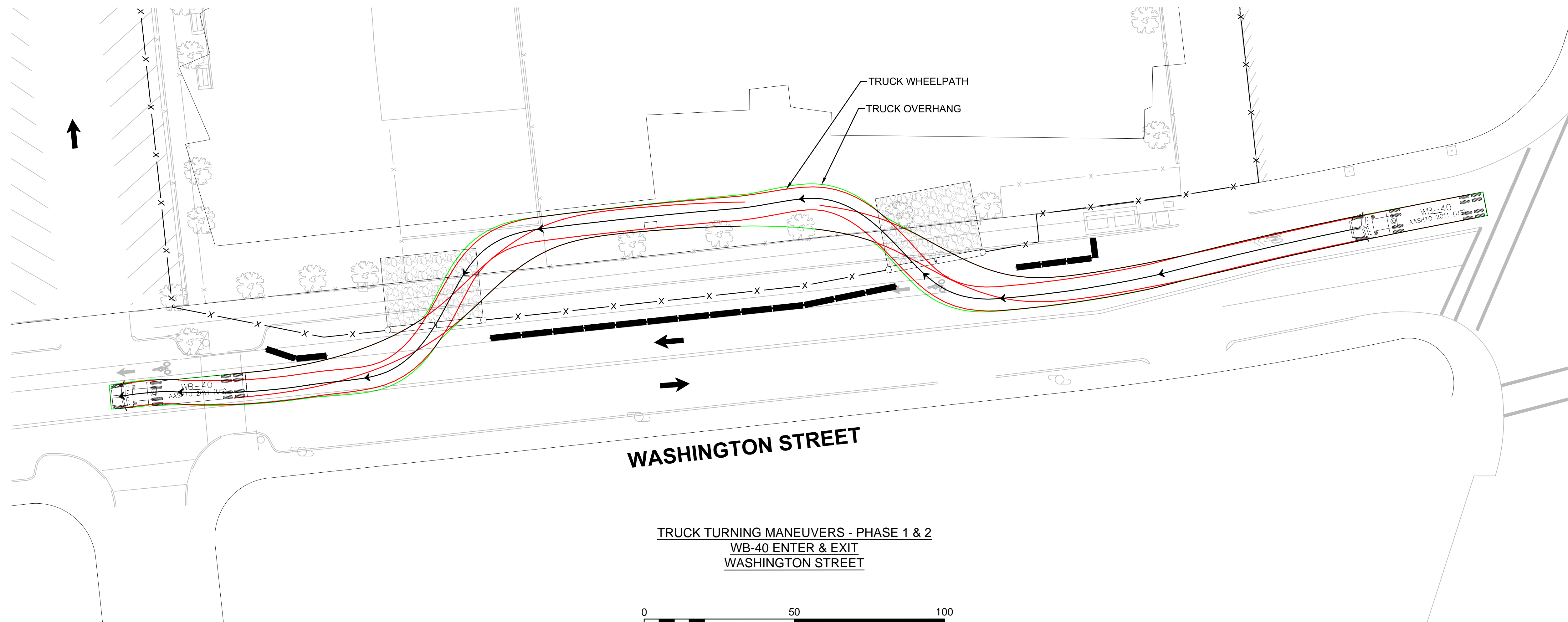
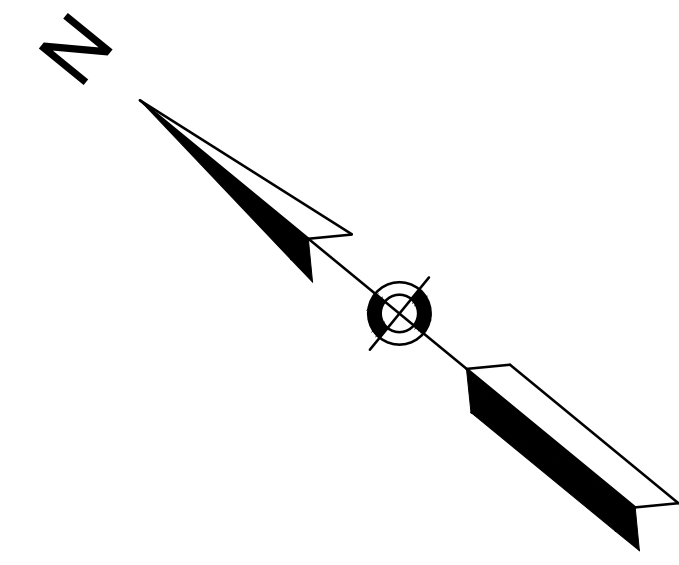
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DRAWING TITLE

**Truck Turning
 Maneuvers**

SHEET 11 OF 17	DRAWING NUMBER
JOB NO. 8757	11
CAD 8757TTR1	



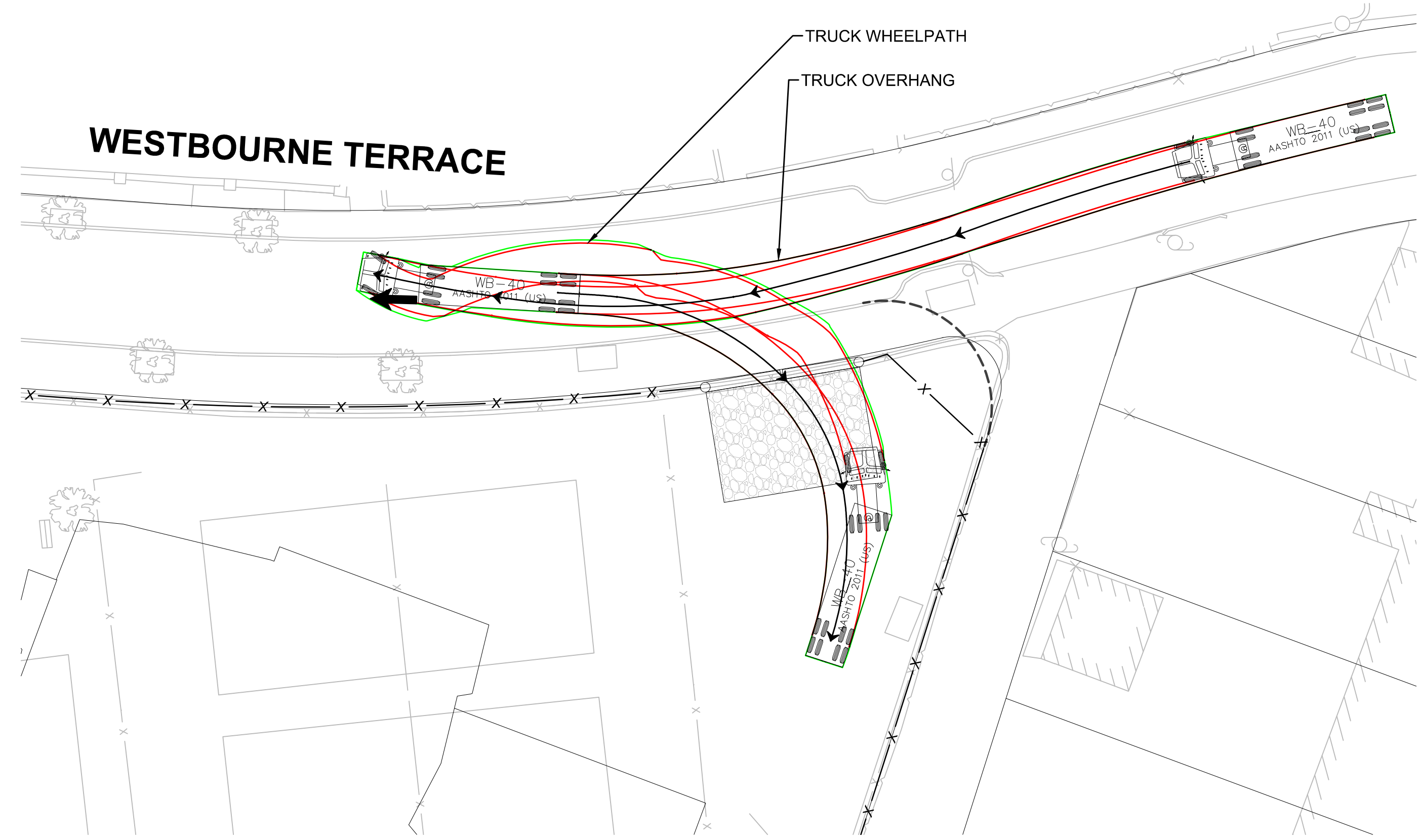
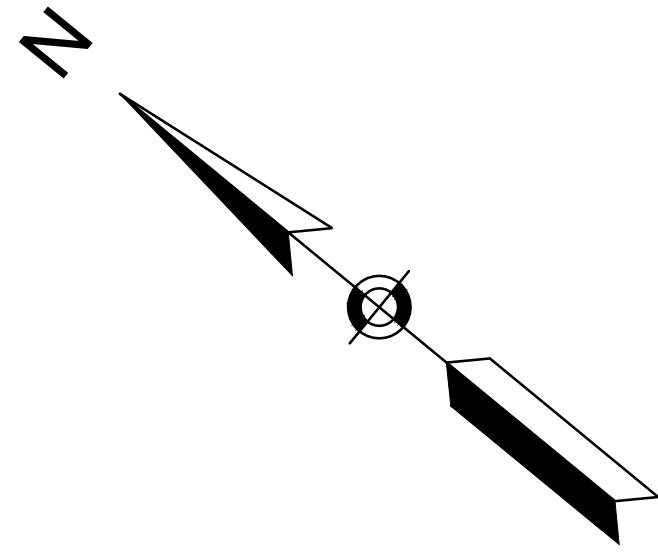
WB-40

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

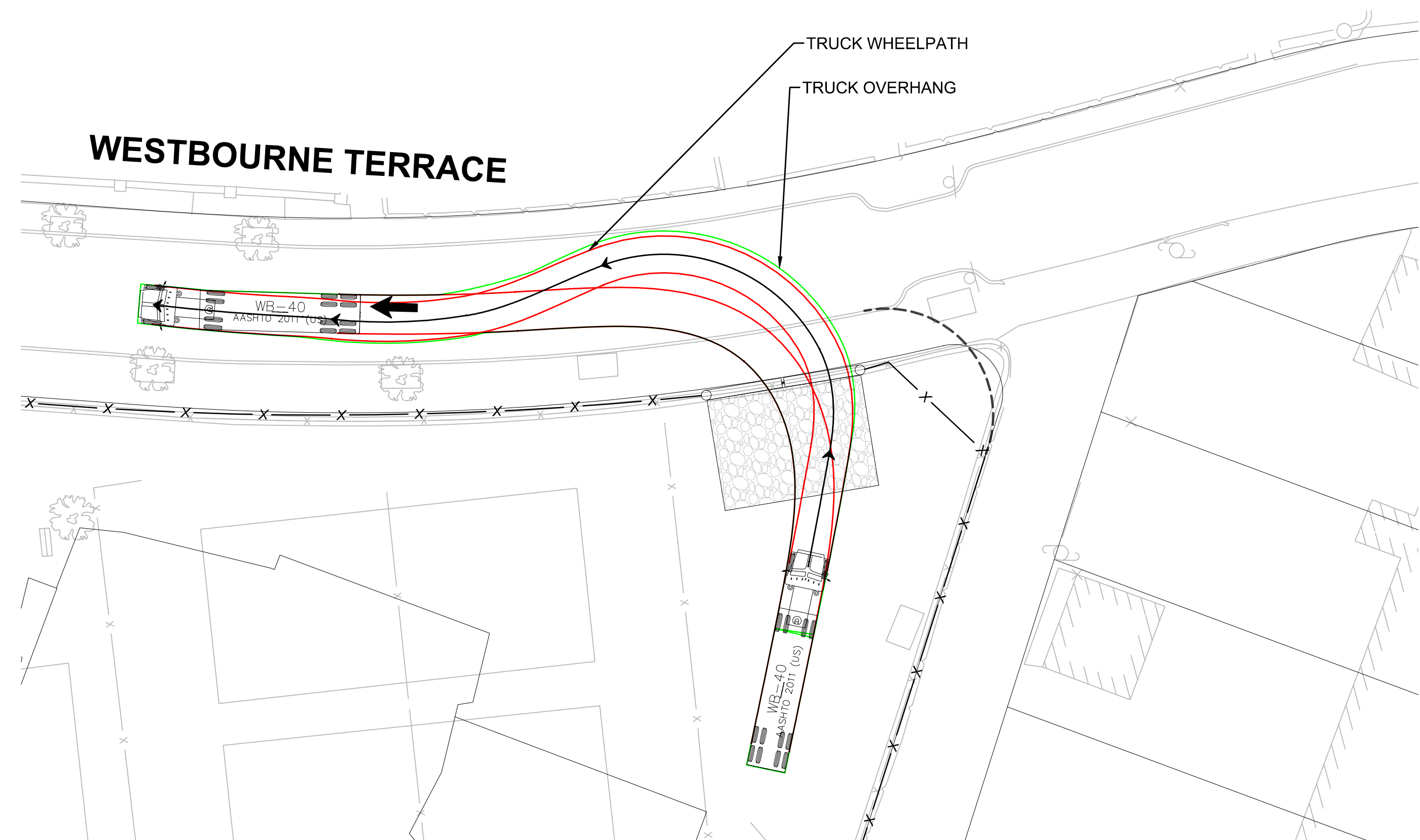
NOTE:

- SEE SHEET 16 FOR TRUCK ROUTING PLAN
- DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM

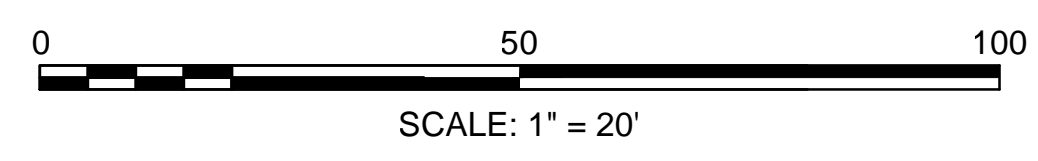
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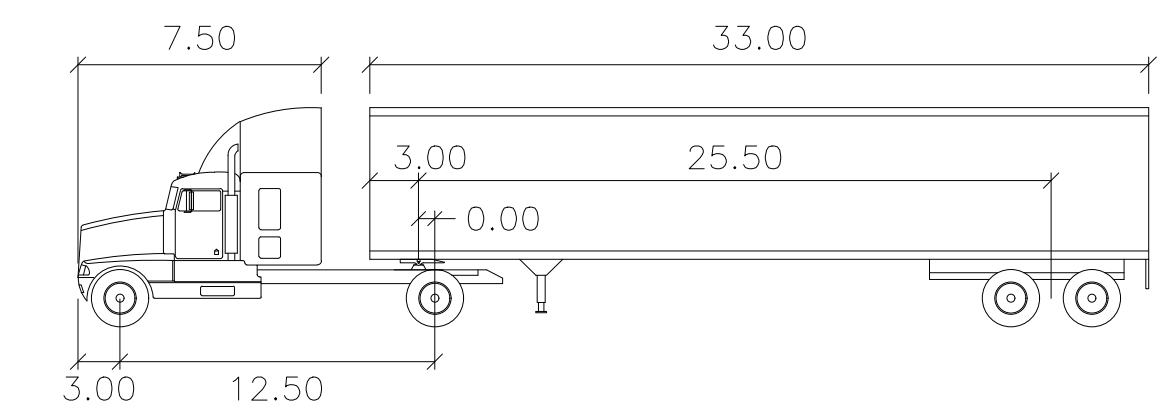
TRUCK TURNING MANEUVERS - PHASE 1 & 2
WB-40 ENTER
WESTBOURNE TERRACE



TRUCK TURNING MANEUVERS - PHASE 1 & 2
WB-40 EXIT
WESTBOURNE TERRACE



- NOTE:**
- SEE SHEET 16 FOR TRUCK ROUTING PLAN
 - DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM



WB-40

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

PROJECT TITLE
Michael Driscoll School
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Plan

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DRAWING TITLE

Truck Turning
Maneuvers

SHEET 12 OF 17	DRAWING NUMBER
JOB NO. 8757	12
CAD 8757TTR1	

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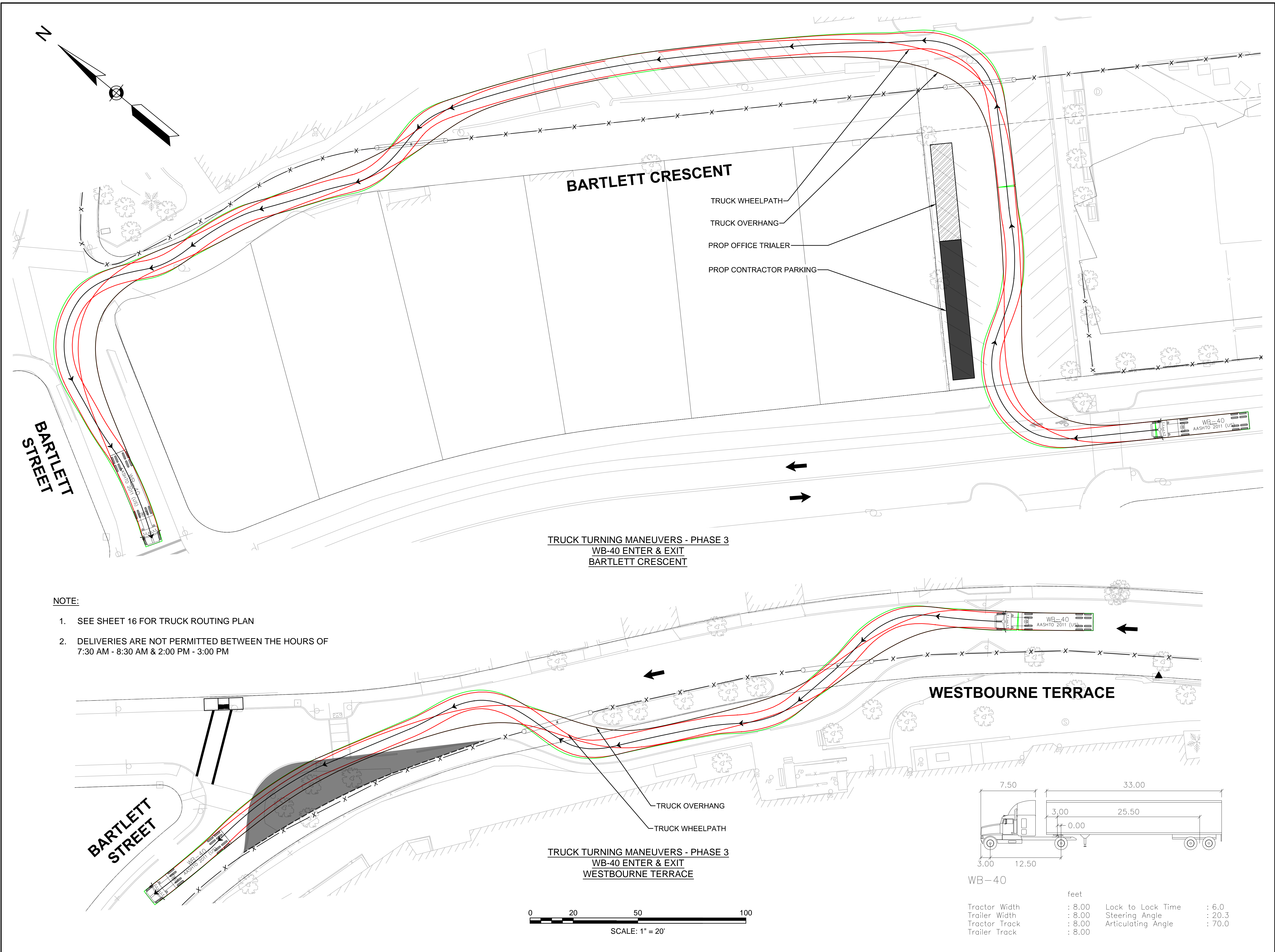
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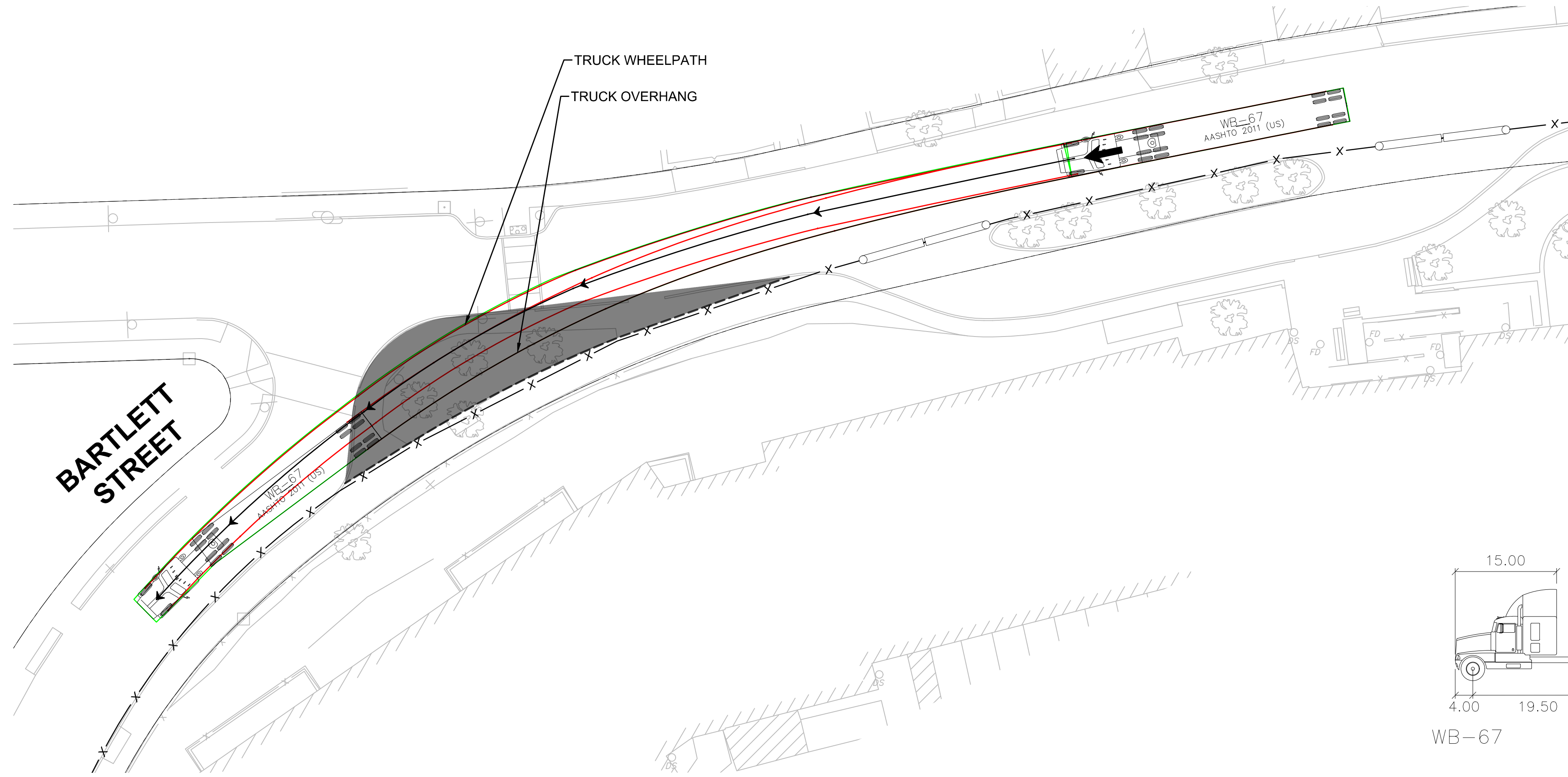
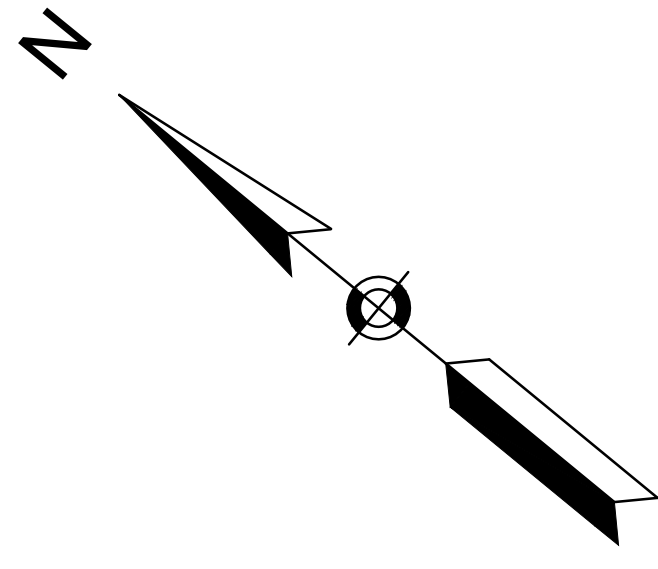
DRAWING TITLE

**Truck Turning
 Maneuvers**

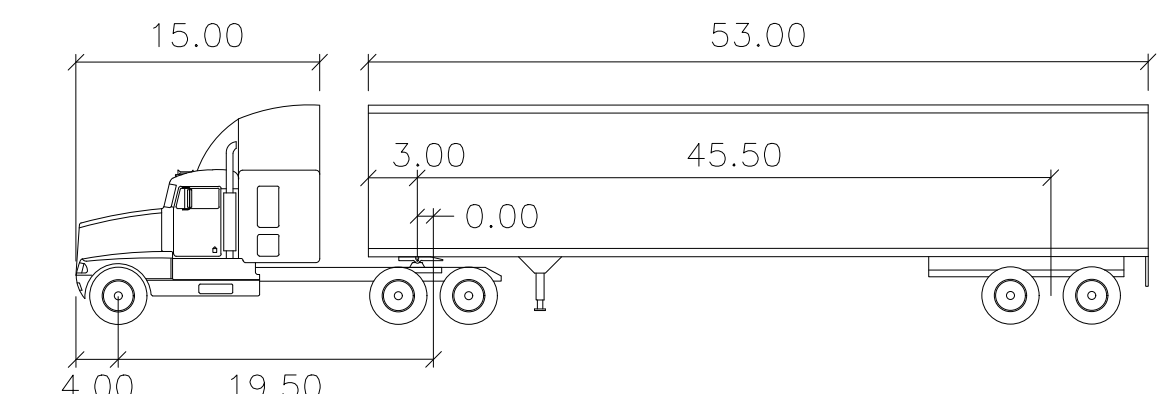
SHEET 13 OF 17	DRAWING NUMBER
JOB NO. 8757	13
CAD 8757TR2	



- NOTE:**
- SEE SHEET 16 FOR TRUCK ROUTING PLAN
 - DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM

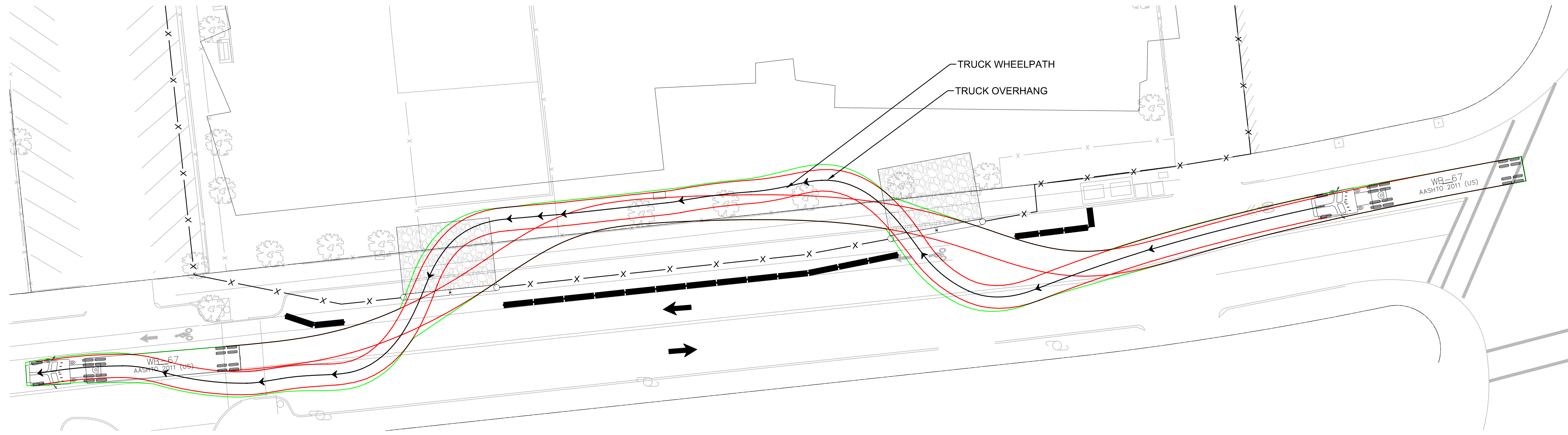


TRUCK TURNING MANEUVERS - PHASE 1, 2 & 3
WB-67 EXIT
WESTBOURNE TERRACE & BARTLETT STREET

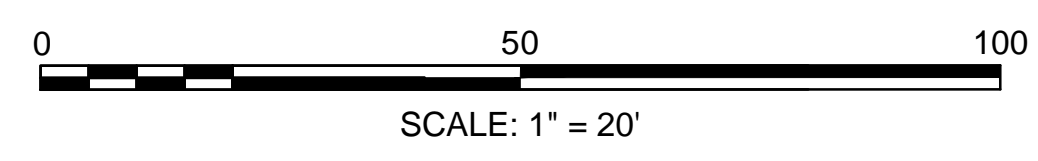


WB-67

	feet	
Tractor Width	: 8.00	Lock to Lock Time : 6.0
Trailer Width	: 8.50	Steering Angle : 28.4
Tractor Track	: 8.00	Articulating Angle : 75.0
Trailer Track	: 8.50	



TRUCK TURNING MANEUVERS - PHASE 1 & 2
WB-67 ENTER & EXIT
WASHINGTON STREET



- NOTE:**
- SEE SHEET 16 FOR TRUCK ROUTING PLAN
 - DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM

PROJECT TITLE
**Michael Driscoll School
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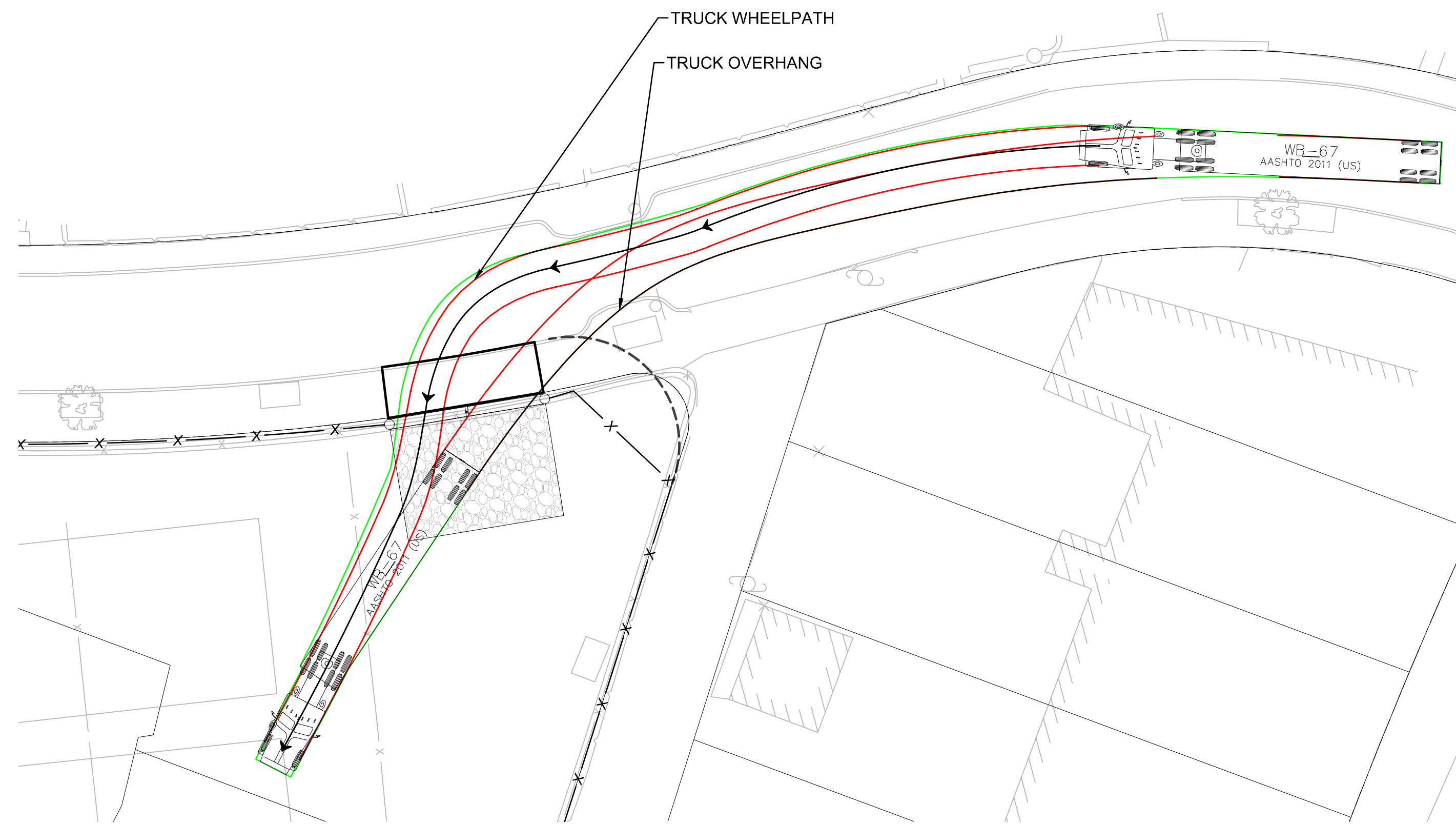
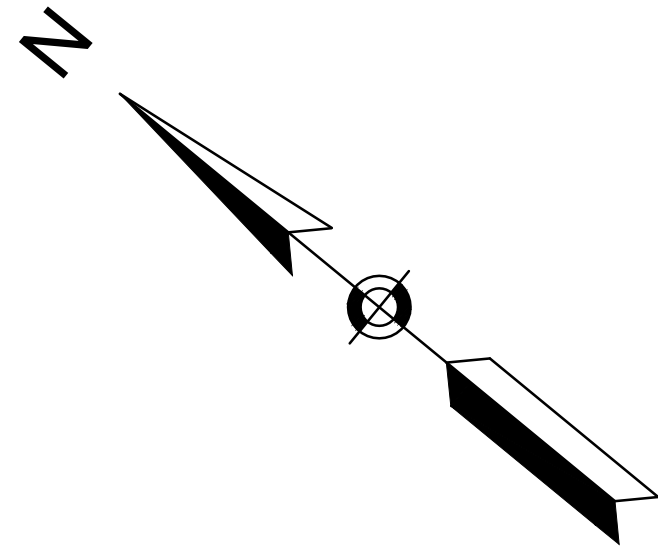
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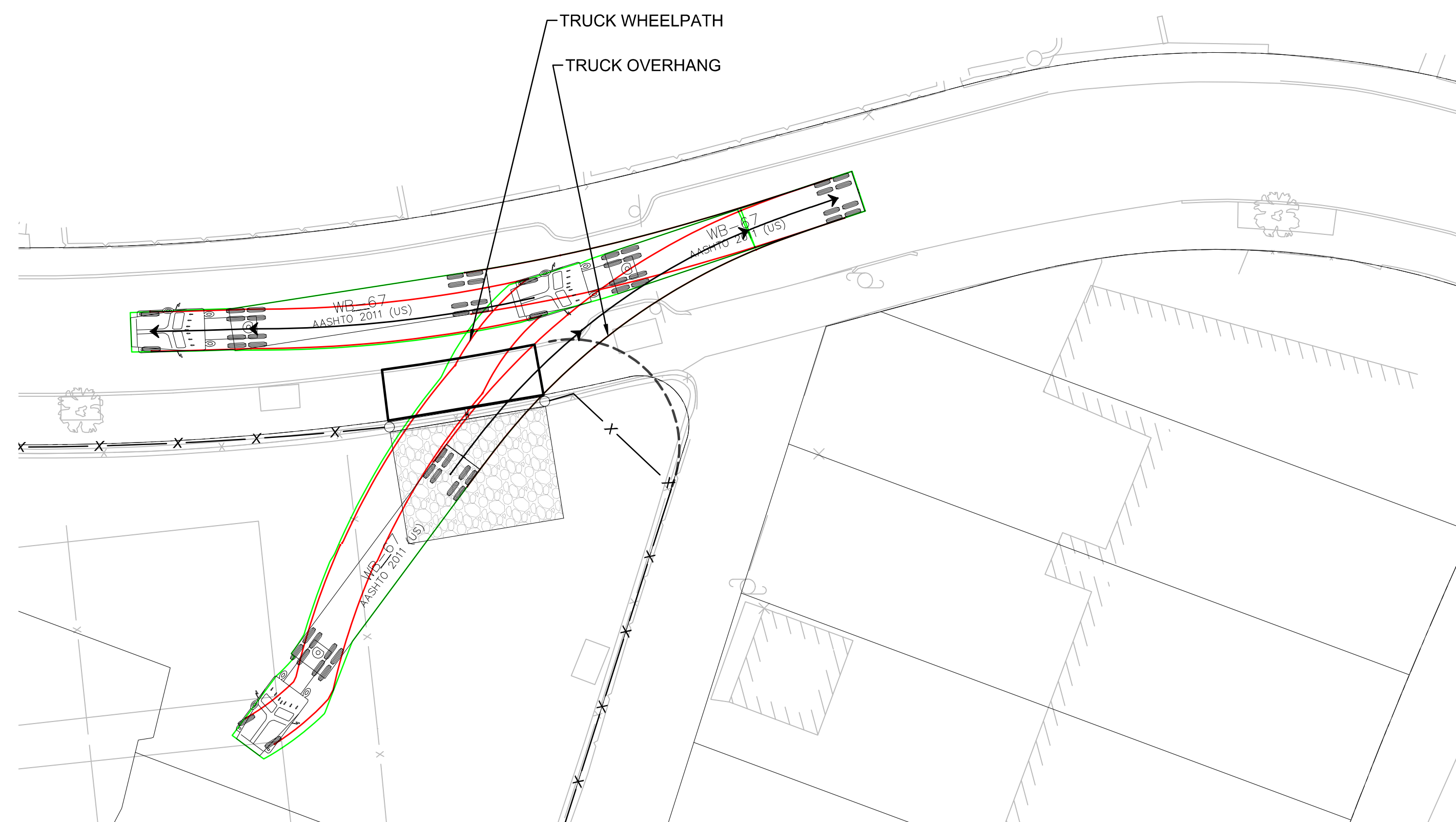
**Truck Turning
Maneuvers**

SHEET 14 OF 17	DRAWING NUMBER
JOB NO. 8757	14
CAD 8757TR3	

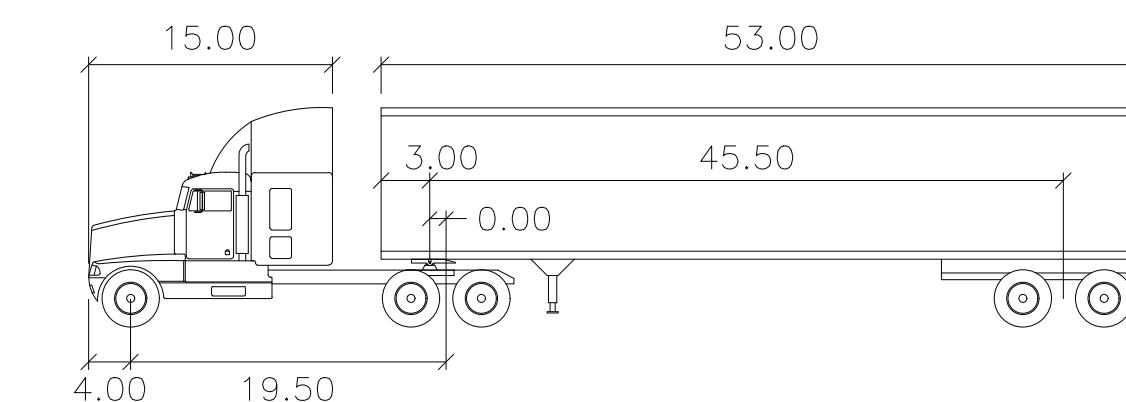
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TRUCK TURNING MANEUVERS - PHASE 1 & 2
WB-67 ENTER
WESTBOURNE TERRACE



TRUCK TURNING MANEUVERS - PHASE 1 & 2
WB-67 ENTER
WESTBOURNE TERRACE

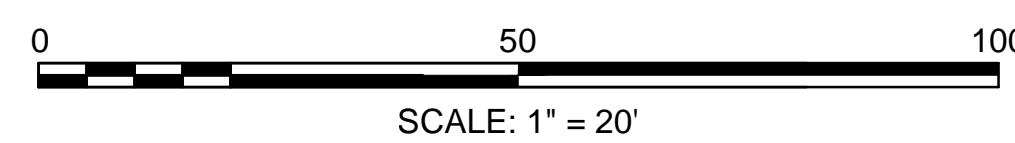


WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

NOTE:

1. SEE SHEET 16 FOR TRUCK ROUTING PLAN
2. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM



PROJECT TITLE

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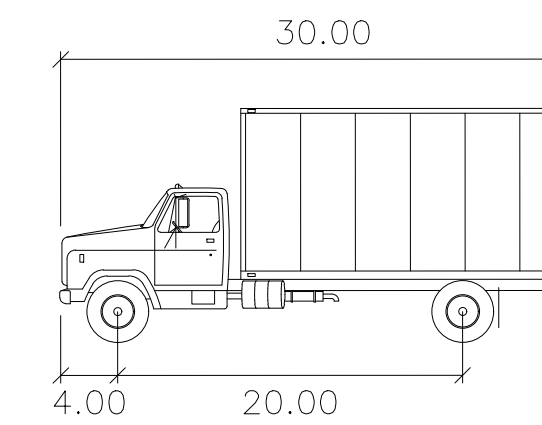
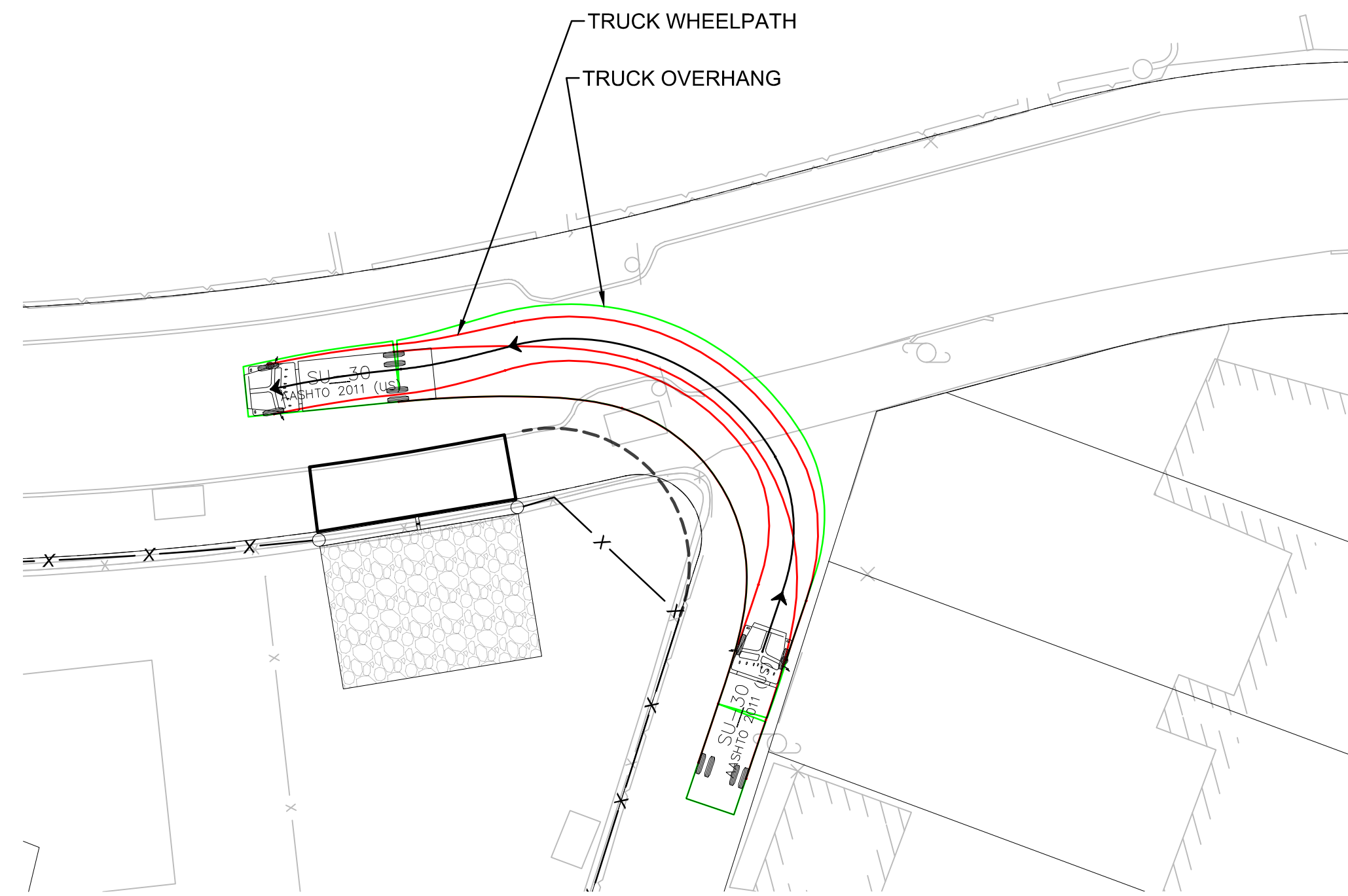
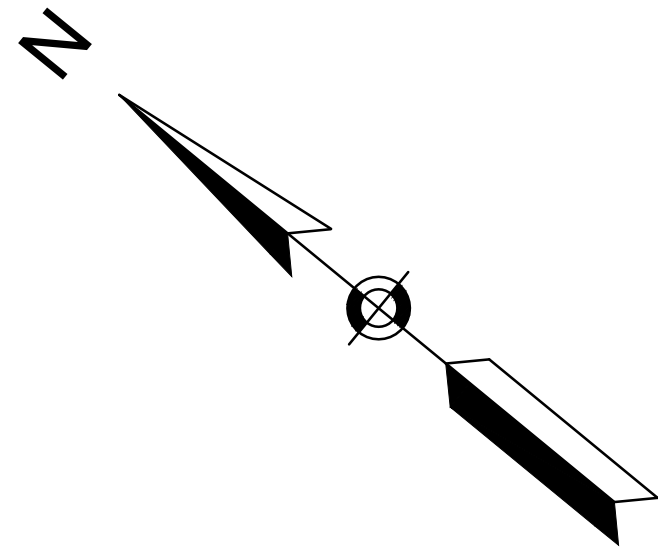
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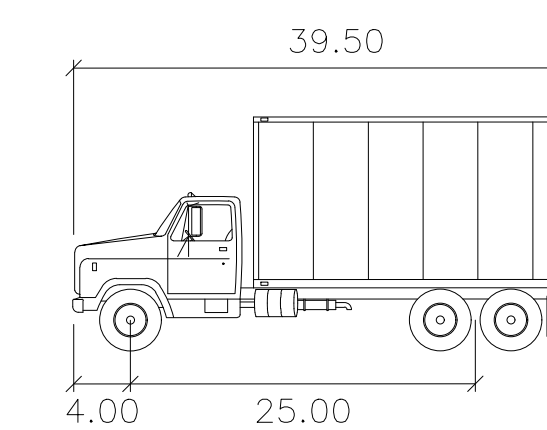
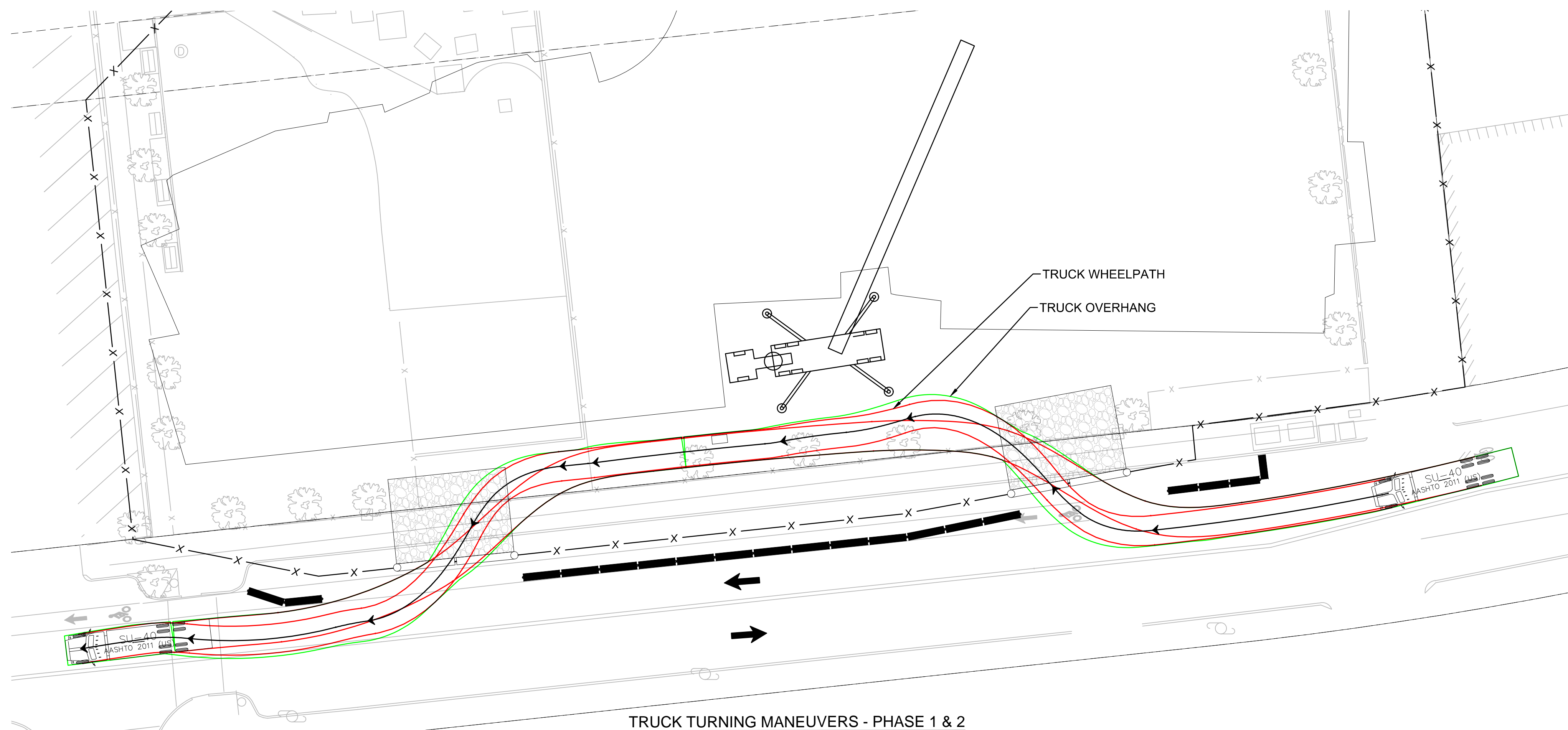
Truck Turning
Maneuvers

SHEET 15 OF 17	DRAWING NUMBER
JOB NO. 8757	15
CAD 8757TR3	



SU-30
 Width : 8.00 feet
 Track : 8.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.8

TRUCK TURNING MANEUVERS - PHASE 1 & 2
 SU-30 EXIT
 WESTBOURNE TERRACE ALLEY



SU-40
 Width : 8.00 feet
 Track : 8.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.8

TRUCK TURNING MANEUVERS - PHASE 1 & 2
 SU-40 ENTER & EXIT
 WASHINGTON STREET

0 50 100
 SCALE: 1" = 20'

NOTE:

1. SEE SHEET 16 FOR TRUCK ROUTING PLAN
2. DELIVERIES ARE NOT PERMITTED BETWEEN THE HOURS OF 7:30 AM - 8:30 AM & 2:00 PM - 3:00 PM

PROJECT TITLE

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DRAWING TITLE

Truck Turning
 Maneuvers

SHEET 16 OF 17	DRAWING NUMBER
JOB NO. 8757	16
CAD 8757TR3	

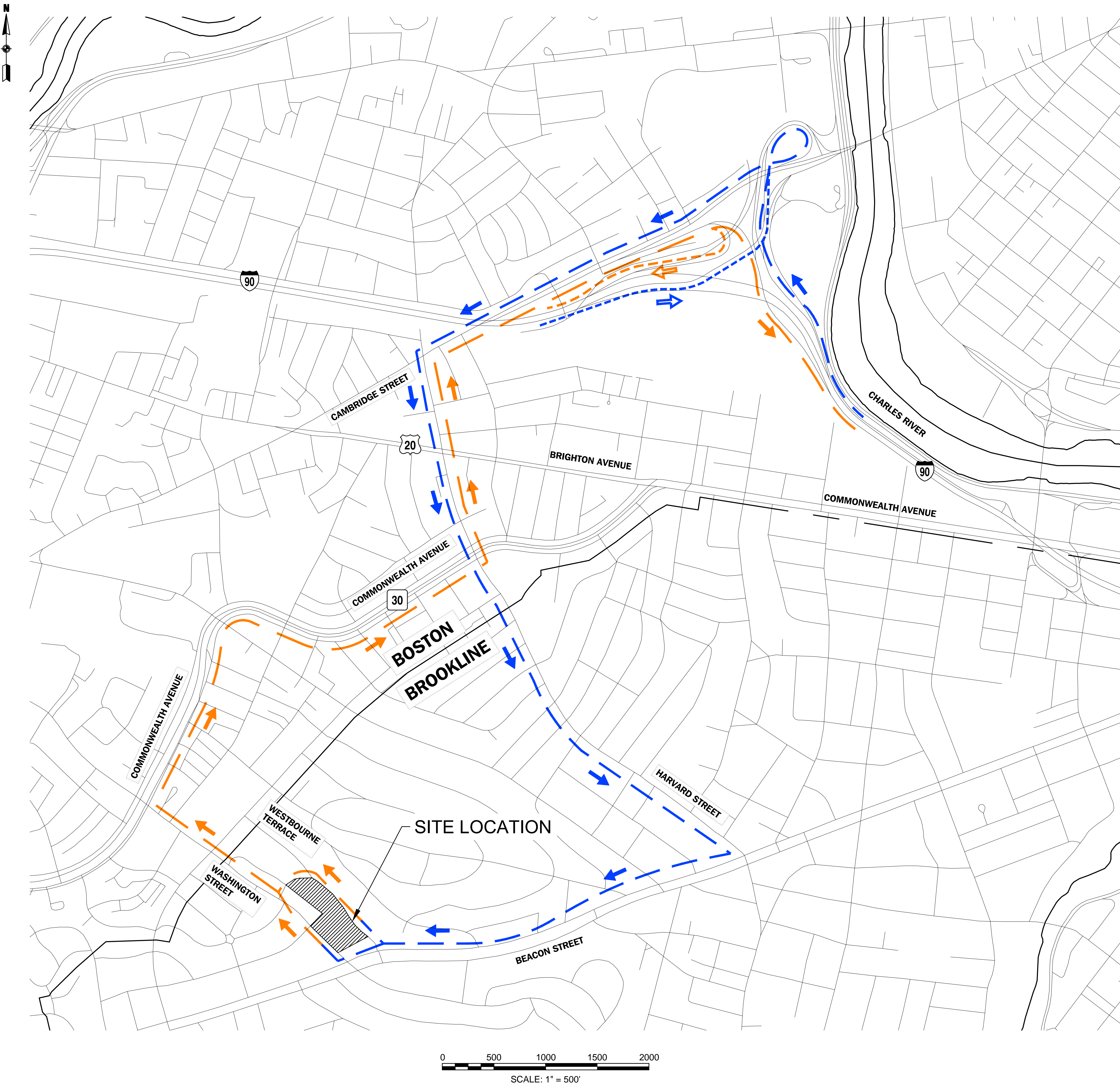
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DRAWING TITLE

Truck Routing

SHEET 17 OF 17	DRAWING NUMBER
JOB NO. 8757	17
CAD 8757RTE	



LEGEND

- TRUCKS EXITING TO INTERSTATE 90 EB
- TRUCKS ENTERING FROM INTERSTATE 93 WB
- TRUCKS EXITING TO INTERSTATE 90 WB
- TRUCKS ENTERING FROM INTERSTATE 90 EB

NOTES

1. TRUCK ROUTE – TRUCKS SHALL ACCESS THE SITE VIA WASHINGTON STREET AND WESBOURNE TERRACE FROM BEACON STREET. TRUCKS SHALL EGRESS THE SITE VIA WASHINGTON STREET.
2. SMALL VEHICLE ROUTE – SMALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE TRUCK ROUTE IDENTIFIED ABOVE.
3. A WB-67 IS THE LARGEST TRUCK EXPECTED TO BE ENTERING AND EXITING THE SITE
4. THERE IS AN EXPECTED 50 TRUCKS ENTERING THE SITE PER DAY.
5. CONSTRUCTION WORKERS ARE NOT PERMITTED TO PARK ON RESIDENTIAL SIDE STREETS